

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

SCHEMATIC DESIGN SUBMITTAL - 03.06.2026

OWNER	ARCHITECT, M.E.P. ENGINEER	INTERIOR DESIGNER	GENERAL CONTRACTOR	DRAWING INDEX																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
<div><p>100-105 WEST VIEW ROAD COLCHESTER, VT 05446 P: (802) 444.6066</p></div>	<div><p>555 CARR ST. CINCINNATI, OH 45203 P: (513) 721.0600</p></div>	<div><p>825 GRANDVIEW AVENUE COLUMBUS, OHIO 43215 P: (614) 444.3743</p></div>	<div><p>1826 RACE STREET CINCINNATI, OH 45202 P: (513) 559.0048</p></div>	<table><tr><th>SHEET</th><th>DESCRIPTION</th><th>ISSUE DATE</th><th>REV. #</th><th>REV. 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A302	BUILDING SECTION	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A303	BUILDING SECTION	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A700	WALL AND FLOOR ASSEMBLIES	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A801	LEVEL 1 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A805	LEVEL 5 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A806	LEVEL 6 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A807	LEVEL 7 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A808	LEVEL 8 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A809	LEVEL 9 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A810	LEVEL 10 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A811	LEVEL 11 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A814	LEVEL 14 REFLECTED CEILING PLAN	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
SHEET	DESCRIPTION	ISSUE DATE	REV. #	REV. DESCRIPTION	REVISION DATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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A801	UNIT PLANS AND ELEVATIONS - S1	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A802	UNIT PLANS AND ELEVATIONS - S2	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A803	UNIT PLANS AND ELEVATIONS - S3	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A811	UNIT PLANS AND ELEVATIONS - A1	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A812	UNIT PLANS AND ELEVATIONS - A2	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A813	UNIT PLANS AND ELEVATIONS - A3	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A814	UNIT PLANS AND ELEVATIONS - A4	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A815	UNIT PLANS AND ELEVATIONS - A5	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A816	UNIT PLANS AND ELEVATIONS - A6	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A817	UNIT PLANS AND ELEVATIONS - A7	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A818	UNIT PLANS AND ELEVATIONS - A8	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A819	UNIT PLANS AND ELEVATIONS - A8-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A820	UNIT PLANS AND ELEVATIONS - A10	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A821	UNIT PLANS AND ELEVATIONS - A11	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A831	UNIT PLANS AND ELEVATIONS - B1	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A832	UNIT PLANS AND ELEVATIONS - B2	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A833	UNIT PLANS AND ELEVATIONS - B3	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A834	UNIT PLANS AND ELEVATIONS - B4	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A835	UNIT PLANS AND ELEVATIONS - B5	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A836	UNIT PLANS AND ELEVATIONS - B6-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A837	UNIT PLANS AND ELEVATIONS - B7-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A838	UNIT PLANS AND ELEVATIONS - B8-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A839	UNIT PLANS AND ELEVATIONS - B9	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A840	UNIT PLANS AND ELEVATIONS - B10-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A841	UNIT PLANS AND ELEVATIONS - B11-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A842	UNIT PLANS AND ELEVATIONS - B12-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A851	UNIT PLANS AND ELEVATIONS - C1	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A852	UNIT PLANS AND ELEVATIONS - C2-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A853	UNIT PLANS AND ELEVATIONS - C3-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A854	UNIT PLANS AND ELEVATIONS - C4-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
A855	UNIT PLANS AND ELEVATIONS - C5-PH	03/06/2026																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						

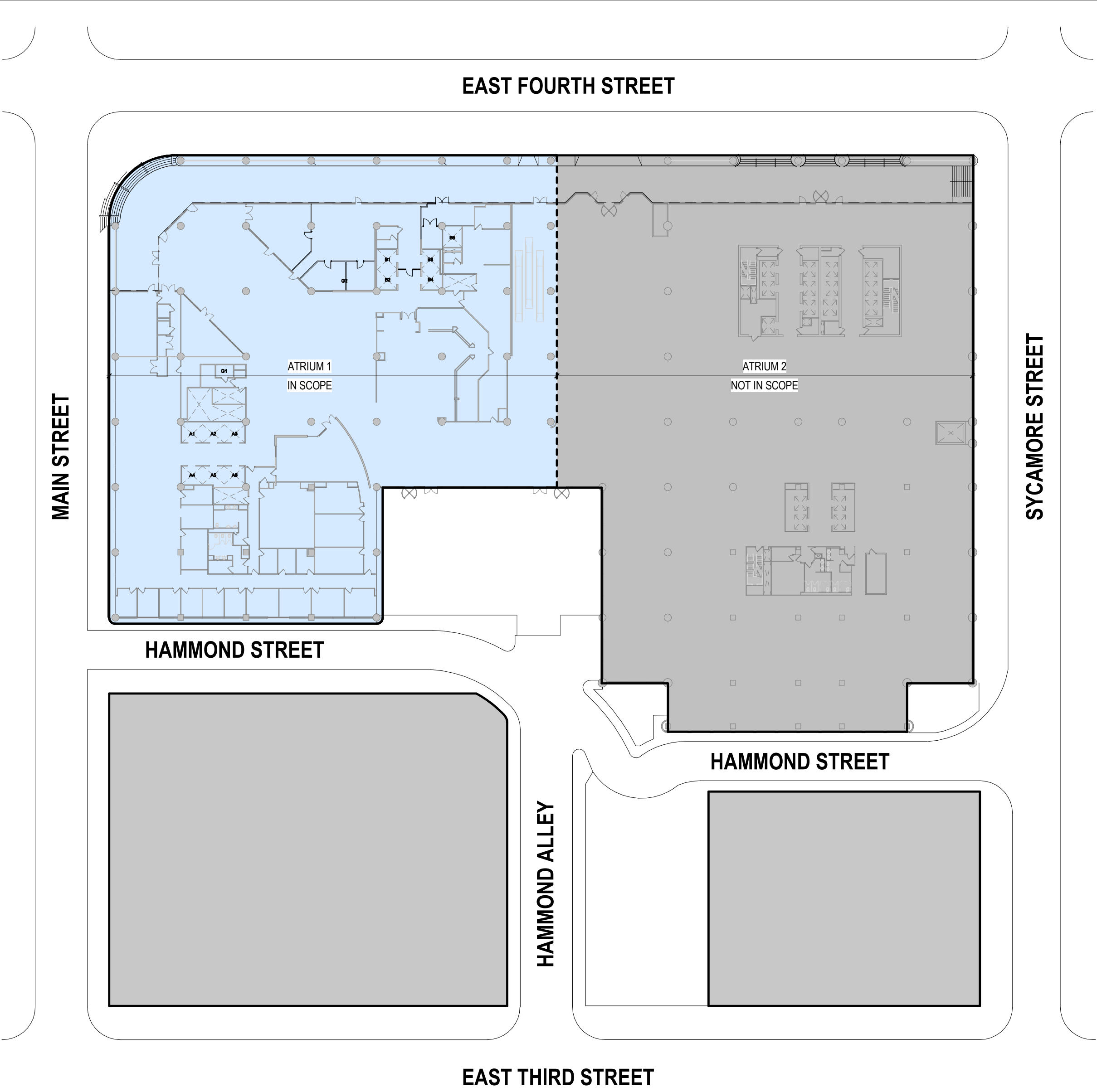
LOCATION MAP



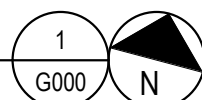
VICINITY MAP



SITE PLAN



SITE REFERENCE PLAN
SCALE: 1" = 40'-0"



SHEET	DESCRIPTION	ISSUE DATE	REV. #	REV. DESCRIPTION	REVISION DATE
01 - GENERAL					
G000	TITLE SHEET	03/06/2026			
G010	PROJECT GENERAL NOTES	03/06/2026			
G100	CODE ANALYSIS	03/06/2026			
G101	LIFE SAFETY AND EGRESS PLANS	03/06/2026			
G110	UL DETAILS	03/06/2026			
G111	UL DETAILS	03/06/2026			
G112	UL DETAILS	03/06/2026			
G200	AREA AND UNIT TABULATIONS	03/06/2026			
06.0 - ARCHITECTURAL DEMOLITION					
AD101	LEVEL 1 DEMOLITION PLAN	03/06/2026			
AD105	LEVEL 5 DEMOLITION PLAN	03/06/2026			
AD106	LEVEL 6 DEMOLITION PLAN	03/06/2026			
AD107	LEVEL 7 DEMOLITION PLAN	03/06/2026			
AD108	LEVEL 8 DEMOLITION PLAN	03/06/2026			
AD109	LEVEL 9 DEMOLITION PLAN	03/06/2026			
AD110	LEVEL 10 DEMOLITION PLAN	03/06/2026			
AD111	LEVEL 11 DEMOLITION PLAN	03/06/2026			
AD114	LEVEL 14 DEMOLITION PLAN	03/06/2026			
AD200	DEMOLITION ELEVATION - NORTH	03/06/2026			
AD201	DEMOLITION ELEVATION - EAST	03/06/2026			
AD202	DEMOLITION ELEVATION - SOUTHEAST	03/06/2026			
AD203	DEMOLITION ELEVATION - SOUTH	03/06/2026			
AD204	DEMOLITION ELEVATION - WEST	03/06/2026			
06.1 - ARCHITECTURAL					
A101	LEVEL 1 FLOOR PLAN	03/06/2026			
A105	LEVEL 5 FLOOR PLAN	03/06/2026			
A106	LEVEL 6 FLOOR PLAN	03/06/2026			
A107	LEVEL 7 FLOOR PLAN	03/06/2026			
A108	LEVEL 8 FLOOR PLAN	03/06/2026			
A109	LEVEL 9 FLOOR PLAN	03/06/2026			
A110	LEVEL 10 FLOOR PLAN	03/06/2026			
A111	LEVEL 11 FLOOR PLAN	03/06/2026			
A114	LEVEL 14 FLOOR PLAN	03/06/2026			
A200	EXTERIOR ELEVATION - NORTH	03/06/2026			
A201	EXTERIOR ELEVATION - EAST	03/06/2026			
A202	EXTERIOR ELEVATION - SOUTHEAST	03/06/2026			
A203	EXTERIOR ELEVATION - SOUTH	03/06/2026			
A204	EXTERIOR ELEVATION - WEST	03/06/2026			
A300	BUILDING SECTION	03/06/2026			
A301	BUILDING SECTION	03/06/2026			
A302	BUILDING SECTION	03/06/2026			
A303	BUILDING SECTION	03/06/2026			
A700	WALL AND FLOOR ASSEMBLIES	03/06/2026			
A801	LEVEL 1 REFLECTED CEILING PLAN	03/06/2026			
A805	LEVEL 5 REFLECTED CEILING PLAN	03/06/2026			
A806	LEVEL 6 REFLECTED CEILING PLAN	03/06/2026			
A807	LEVEL 7 REFLECTED CEILING PLAN	03/06/2026			
A808	LEVEL 8 REFLECTED CEILING PLAN	03/06/2026			
A809	LEVEL 9 REFLECTED CEILING PLAN	03/06/2026			
A810	LEVEL 10 REFLECTED CEILING PLAN	03/06/2026			
A811	LEVEL 11 REFLECTED CEILING PLAN	03/06/2026			
A814	LEVEL 14 REFLECTED CEILING PLAN	03/06/2026			

SHEET	DESCRIPTION	ISSUE DATE	REV. #	REV. DESCRIPTION	REVISION DATE
06.2 - ARCHITECTURAL UNITS					
A801	UNIT PLANS AND ELEVATIONS - S1	03/06/2026			
A802	UNIT PLANS AND ELEVATIONS - S2	03/06/2026			
A803	UNIT PLANS AND ELEVATIONS - S3	03/06/2026			
A811	UNIT PLANS AND ELEVATIONS - A1	03/06/2026			
A812	UNIT PLANS AND ELEVATIONS - A2	03/06/2026			
A813	UNIT PLANS AND ELEVATIONS - A3	03/06/2026			
A814	UNIT PLANS AND ELEVATIONS - A4	03/06/2026			
A815	UNIT PLANS AND ELEVATIONS - A5	03/06/2026			
A816	UNIT PLANS AND ELEVATIONS - A6	03/06/2026			
A817	UNIT PLANS AND ELEVATIONS - A7	03/06/2026			
A818	UNIT PLANS AND ELEVATIONS - A8	03/06/2026			
A819	UNIT PLANS AND ELEVATIONS - A8-PH	03/06/2026			
A820	UNIT PLANS AND ELEVATIONS - A10	03/06/2026			
A821	UNIT PLANS AND ELEVATIONS - A11	03/06/2026			
A831	UNIT PLANS AND ELEVATIONS - B1	03/06/2026			
A832	UNIT PLANS AND ELEVATIONS - B2	03/06/2026			
A833	UNIT PLANS AND ELEVATIONS - B3	03/06/2026			
A834	UNIT PLANS AND ELEVATIONS - B4	03/06/2026			
A835	UNIT PLANS AND ELEVATIONS - B5	03/06/2026			
A836	UNIT PLANS AND ELEVATIONS - B6-PH	03/06/2026			
A837	UNIT PLANS AND ELEVATIONS - B7-PH	03/06/2026			
A838	UNIT PLANS AND ELEVATIONS - B8-PH	03/06/2026			
A839	UNIT PLANS AND ELEVATIONS - B9	03/06/2026			
A840	UNIT PLANS AND ELEVATIONS - B10-PH	03/06/2026			
A841	UNIT PLANS AND ELEVATIONS - B11-PH	03/06/2026			
A842	UNIT PLANS AND ELEVATIONS - B12-PH	03/06/2026			
A851	UNIT PLANS AND ELEVATIONS - C1	03/06/2026			
A852	UNIT PLANS AND ELEVATIONS - C2-PH	03/06/2026			
A853	UNIT PLANS AND ELEVATIONS - C3-PH	03/06/2026			
A854	UNIT PLANS AND ELEVATIONS - C4-PH	03/06/2026			
A855	UNIT PLANS AND ELEVATIONS - C5-PH	03/06/2026			

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446


















NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2026

SHEET TITLE	
TITLE SHEET	
SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2026
SHEET	
G000	

THIS DRAWING IS PART OF A SET

[illegible]

A.P.	ACCESS PANEL	R.C.	ROOF CONDUCTOR	D.P.	DRAIN PIPE
B.M.	BENCH MARK		ROOM NUMBER	D.F.	DRINKING FOUNTAIN
	BRICK		SECTION (LOOKING UP)	FDN	FOUNDATION
	CONCRETE	S.R.	SHOWER ROD		GLAZED TILE
	CONCRETE MASONRY UNIT	S.	SINK		PLYWOOD
			SERVICE SINK	P.T.D.	PAPER TOWEL DISPENSER
C.H.	CEILING HEIGHT	S.D.H.	SOAP DISH	T.P.	TOILET PAPER DISPENSER
CT.J.	CONST. JOINT	S.D.	SOAP DISPENSER	T.R.	TOWEL ROD
C.R.	CURTAIN ROD		STEEL		DOOR NO.
D.O.	DITTO (SAME)	T.Co.	TEL. COMPANY		L=LINTEL (PER STRUCT. DWGS)
	CLOCK	U.O.N.	UNLESS OTHERWISE NOTED		WINDOW TYPE IB=INTERNAL BLINDS
	CENTER LINE	W.D.	WOOD		
E.A.C.	EXPOSED AGGREGATE CONCRETE	W.W.F.	WELDED WIRE FABRIC	F.N.D.	FEMININE NAPKIN DISPENSER
F.B.	FACE BRICK	P.T.	PRESSURE TREATED	T.B.	TEST BORING
I.M.	ICE MAKER	P.Co.	POWER COMPANY		DRYWALL PARTITION OR METAL PARTITION
	INSULATION (BLANKET)	P.B.	PUSH BUTTON		ELEVATION NUMBER SHEET NUMBER
	INSULATION (RIGID)		REVISION		
I.J.	ISOLATION JOINT	G.B.	GRAB BAR	I.W.H.R.	HOT WATER HEATER
	FOR LINTEL SEE STRUCTURAL DWG.	H.D.	HAND DRYER		DETAIL NUMBER SHEET NUMBER
M.C.	MEDICINE CABINET	H.R.	HAND RAIL		WINDOW A.C. UNIT
M.S.	MOP SINK	E.P.	ELECTRICAL PANEL		LINTEL DESIGNATION SHEET NUMBER
	NEW WORK				
	NORTH				
	THERMOSTAT				
XXX	OCCUPANT LOAD				
PA	INTERCOM SYSTEM				

A.T.C.	ACQUISITION TILE CONTRACTOR OR SUB-CONTRACTOR
C.B.C.	CABINET CONTRACTOR OR SUB-CONTRACTOR
C.C.	CARPET CONTRACTOR OR SUB-CONTRACTOR
C.L.C.	CEILING CONTRACTOR OR SUB-CONTRACTOR
C.T.C.	CERAMIC TILE CONTRACTOR OR SUB-CONTRACTOR
C.T.	CURTAIN CONTRACTOR OR SUB-CONTRACTOR
D.C.	DRAPE CONTRACTOR OR SUB-CONTRACTOR
E.C.	ELECTRIC CONTRACTOR OR SUB-CONTRACTOR
E.L.C.	ELEVATOR CONTRACTOR OR SUB-CONTRACTOR
F.C.C.	FLOORING CONTRACTOR OR SUB-CONTRACTOR
F.P.C.	FIRE PROTECTION CONTRACTOR OR SUB-CONTRACTOR
G.C.	GENERAL CONTRACTOR
GL.C.	GLAZING CONTRACTOR OR SUB-CONTRACTOR
G.F.C.	GYMNASIUM FLOORING CONTRACTOR OR SUB-CONTRACTOR
H.C.	HARDWARE CONTRACTOR OR SUB-CONTRACTOR
H.C.A.C.C.	HEATING, VENTILATION, & AIR CONDITIONING CONTRACTOR OR SUB-CONTRACTOR
L.C.	LIFT CONTRACTOR OR SUB-CONTRACTOR
KK.C.C.	LOCKER CONTRACTOR OR SUB-CONTRACTOR
MB.C.	MODULAR INDUSTRIAL UNIT BUILDING CONTRACTOR
M.C.	MASONRY CONTRACTOR
M.S.C.	MISCELLANEOUS STEEL CONTRACTOR OR SUB-CONTRACTOR
P.M.S.C.	PAINTING CONTRACTOR OR SUB-CONTRACTOR
P.T.C.	PLASTER CONTRACTOR OR SUB-CONTRACTOR
PL.C.	PLUMBING CONTRACTOR OR SUB-CONTRACTOR
P.C.	PRE-FORMED METAL ROOFING CONTRACTOR OR SUB-CONTRACTOR
R.C.	ROOFING CONTRACTOR OR SUB-CONTRACTOR
R.G.C.	RIGGING CONTRACTOR OR SUB-CONTRACTOR
S.C.	SEATING CONTRACTOR OR SUB-CONTRACTOR
S.F.C.	STEEL FRAME CONTRACTOR OR SUB-CONTRACTOR
S.M.C.	SHEET METAL CONTRACTOR OR SUB-CONTRACTOR
T.C.	TERRAZZO CONTRACTOR OR SUB-CONTRACTOR
T.J.C.	TRUSS & JOIST CONTRACTOR OR SUB-CONTRACTOR
W.D.W.C.	WINDOW CONTRACTOR OR SUB-CONTRACTOR
W.F.C.	WOOD FRAME CONTRACTOR OR SUB-CONTRACTOR

SHEET TITLE	
PROJECT GENERAL NOTES	
SHEET SIZE 30" x 42"	COMM. No. E-12854
DRAWN BY JTO	DATE 03/06/2008
SHEET #	

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS AND ALL THE JOB SITE AND THE ARCHITECT OF ALL DISCREPANCIES, OMISSIONS AND CONFLICTS BEFORE BIDDING. THE CONTRACTOR SHALL VISIT THE SITE AND MAKE A THOROUGH EXAMINATION OF THE PROJECT AND THE SUBMITTALS THEREON. HE OR SHE SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY SITE CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.

2. DETAILS MARKED "TYPICAL" SHALL BE APPLIED IN ALL SIMILAR CASES UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL NOTES AND TYPICAL DETAILS ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS. NOTES MAY APPEAR ON VARIOUS SHEETS OF DIFFERENT SYSTEMS AND MATERIALS, NOTES ON ANY ONE SHEET ARE TO BE ALLOWED TO RELATED DRAWING SHEETS AND DETAILS.

3. NO SUBSTITUTIONS OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.

4. THE ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, AND PLUMBING DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING THE WORK OF THE CONTRACT DOCUMENTS; HOWEVER, ALL ENGINEERING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS - IT IS THE RESPONSIBILITY OF THE CIVIL, STRUCTURAL, AND/OR MEP CONTRACTORS AND SUBCONTRACTORS TO COORDINATE AND CORRECT ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE INSTALLATION ANY WORK - ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING - ANY WORK INSTALLED IN CONTRADICTION OF THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS THAT WOULD CAUSE IMPROPER OR EXPOSED INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO BIDDING.

5. NOT USED.

6. NOT USED.

7. COORDINATE ALL WORK WITH SCOPE DESCRIPTIONS LISTED IN SPECIFICATIONS, SPECIFICATION SECTIONS AND THE DRAWINGS- REPORT DESCRIPTIONS TO ARCHITECT & CONSTRUCTION MANAGER PRIOR TO BIDDING - IN THE EVENT THE SCOPES, SPECIFICATIONS, AND/OR THE DRAWINGS DRAFT, CONTRACTOR IS TO BID THE MORE EXPENSIVE OPTION.

8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2024 OHIO EXISTING BUILDING CODE, 2024 OHIO BUILDING CODE & ALL APPLICABLE CODES, AND SHALL CONFORM TO ALL APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS HAVING JURISDICTION INCLUDING ALL ORDINANCES AND RESOLUTIONS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CONTINUOUS MAINTENANCE OF ALL WORK INCLUDING NEW AND EXISTING UTILITIES FROM DAMAGE AND SHALL PROTECT THE OWNERS PROPERTY FROM DAMAGE OR LOSS BY DUST, DIET, WATER, TIRED, FIRE OR ANY OTHER PHYSICAL DAMAGE IN CONNECTION WITH THE CONTRACT.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL KNOWN UTILITIES AND TO COORDINATE CONSTRUCTION AREA APPROXIMATE OR UNKNOWN UTILITIES AND SYSTEMS SERVING OTHER AREAS. UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES HELLO-CALLED PRIOR TO CONSTRUCTION IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING.

11. NOT USED.

12. ELECTRONIC DOCUMENTS: THE ARCHITECT CAN PROVIDE TO THE SUCCESSFUL BIDDERS BY AGREEMENT, UPON NOTICE TO PROVIDE, MATERIALS STORED ELECTRONICALLY. THE PARTIES REPRESENTING THAT DATA PLANS, SPECIFICATIONS, REPORTS, DECLARATION, OR OTHER INFORMATION REQUIRED FOR THE PROJECT OR TRANSMITTED AS SUCH ARE SUBJECT TO UNDETECTABLE ALTERATION, EITHER INTENTIONAL OR UNINTENTIONAL, DUE TO, AMONG OTHER CAUSES, TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ACTION. ACCORDINGLY, ALL SUCH DOCUMENTS ARE PROVIDED TO THE PARTIES IN PRINT INFORMATIONAL PURPOSES ONLY AND NOT AS AN OFFICIAL PRODUCT NOR AS A RECORD DOCUMENT. ANY RELIANCE THEREON IS DEEMED TO BE UNREASONABLE AND UNENFORCEABLE. THE SIGNED AND/OR SEALED HARD COPIES OF THE ARCHITECT'S INSTRUMENTS OF SERVICE ARE THE ONLY TRUE CONTRACT DOCUMENTS REQUIRED.

13. EACH PRIME CONTRACTORS AND ALL SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS.

14. ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE, AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.

15. ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS.

16. REFERENCE TO ENGINEERING DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.

17. ANY DETAILS, SYSTEMS, OR MATERIALS (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ETC.) WHICH ARE PROPOSED TO BE CHANGED MUST FIRST BE REVIEWED BY THE ARCHITECT, PRIOR TO BIDDING-NO SUBSTITUTIONS OR DEVIATIONS FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT AFTER BIDS ARE RECEIVED.

18. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

19. FINISH FLOOR ELEVATIONS ARE TO THE TOP OF CONCRETE, UNLESS OTHERWISE NOTED.

20. DIMENSIONING:
20.1 DO NOT SCALE DRAWINGS- DIMENSIONS ON DRAWINGS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
20.2 PROVIDE SCALE DETAIL ENLARGEMENT OR REDUCTION OF ALL DIMENSIONS UNLESS NOTED OTHERWISE.
20.3 REFER TO DETAILED PLANS FOR DIMENSIONS OF MAJOR STAIRS, TOILETS AND ELEVATOR SHAFTS UNLESS OTHERWISE SHOWN.
20.4 ALL DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH ALL OF THE WALL TRADES.
20.5 ALL NEW WALLS ARE DIMENSIONED FROM FACE OF STUDY MASONRY TO FACE OF STUDY MASONRY UNLESS NOTED OTHERWISE.

21. INSULATION AND VAPOR BARRIERS:
21.1 WALLS: WHETHER OR NOT SHOWN OR SPECIFIED, PROVIDE INSULATION BETWEEN ALL EXTERIOR AND INTERIOR HEATED SPACES TO MAINTAIN A R-VALUE ASSEMBLY R-VALUE OF R-13 @ 2 CI.
21.2 ROOFS: WHETHER OR NOT SHOWN OR SPECIFIED, PROVIDE INSULATION BETWEEN ALL EXTERIOR AND INTERIOR HEATED SPACES TO MAINTAIN A R-VALUE OF ROOF ASSEMBLY R-VALUE OF R-30 CI.
21.3 PERMEATIVE PORTIONS OF COVERLS, PROVIDE INSULATION TO MAINTAIN THE R-VALUE OF THE WALL OR ROOF ASSEMBLY.
21.4 ALL JOINTS IN FOUL-FACE INSULATION BARRIER SHALL BE FOIL TAPED TO PROVIDE A CONTINUOUS VAPOR TIGHT INSTALLATION.
21.5 PROVIDE SPRAY FOAM INSULATION AT THE TOPS OF ALL EXTERIOR WALLS AND AT ANY PENETRATIONS OR VOIDS TO PROVIDE AN AIR-TIGHT SEAL & SAME R-VALUE OF THE WALL ASSEMBLY.
21.6 PROVIDE CONTINUOUS PERMEABLE INSULATION AT ALL EXTERIOR WALLS.

22. MECHANICAL AND ELECTRICAL AREAS:
22.1 WALLS BETWEEN MECHANICAL OR ELECTRICAL SPACES AND OCCUPIED SPACES SHALL BE ACOUSTICALLY ISOLATED FROM THE OCCUPIED SPACES AND SHALL MAINTAIN A MINIMUM STC RATING OF 60.
22.2 PROVIDE A 6-INCH CONCRETE CURB AROUND INTERIOR PERIMETER OF MECHANICAL/ELECTRICAL AREAS UNLESS NOTED OTHERWISE.
22.3 ALL HOUSEKEEPING CONCRETE PADS ARE TO BE 4-INCH (100MM) HIGH MINIMUM UNLESS OTHERWISE NOTED. PROVIDE ONE LAYER OF WFL 6 x 6 @ 1'W4 @ W40 WELDED WIRE FABRIC MINIMUM.
22.4 PROVIDE ALL EQUIPMENT BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS. INSTALL THE PADS BETWEEN THE FULL PROJECTED AREA OF EQUIPMENT.
22.5 COORDINATE ALL MECHANICAL AND ELECTRICAL FLOOR, ROOF AND WALL SLEEVES AND ALL MECHANICAL SHAFTS WITH MECHANICAL AND PLUMBING CONTRACTORS. ELECTRICAL CONTRACTORS SHALL PROVIDE ALL ELECTRICAL DRAWINGS.
22.6 REFER TO MECHANICAL AND ELECTRICAL CONTRACTORS DRAWINGS AND MANUFACTURER'S TEMPLATE DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, BOLT SETTING TEMPLATES, ISOLATIONS, SPRING ISOLATION, ETC., NOT SHOWN ON THE DRAWINGS.
22.7 ALL MEP EQUIPMENT PADS SHALL BE BY MEP CONTRACTORS.

23. FIRE AND SMOKE DAMPERS SHALL BE PROVIDED AS SHOWN AND WHERE AIR PATHS PENETRATE FIRE-RATED WALLS OR CEILING. FIRE AND SMOKE DAMPERS SHALL BE UL LISTED AND APPROVED.

24. ALL INTERIOR PARTITIONS SHALL WITHSTAND MINIMUM INWARD AND OUTWARD ACTING PRESSURES OF 5 PSF; 10 PSF AT ELEVATOR SHAFT WALL.
25. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN AND GALVANIC CORROSION.
26. EACH TRADE RESPONSIBLE TO PROVIDE ACCESS PANELS TO THE GENERAL TRADES CONTRACTOR TO BE INSTALLED BY THE GENERAL TRADES CONTRACTOR AS REQUIRED BY APPLICABLE CODES AND REQUIRED FOR MECHANICAL EQUIPMENT. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING.
27. COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, AND TECHNOLOGY DRAWINGS. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING.
28. THE CONTRACTOR SHALL FINISH AND INSTALL ALL BLOCKING, STIFFENERS, BRACINGS, BACKING PLATES AND SUPPORTING BRACING REQUIRED FOR THE PROPER INSTALLATION OF ALL CASEWORK, MILLWORK, SHELVING, WALL OR CEILING MOUNTED ITEMS, TOILET ROOM ACCESSORIES, TOILET PARTITIONS, ETC. AS WELL AS ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL AND/OR MISCELLANEOUS EQUIPMENT WHETHER SHOWN OR NOT. ALL WOOD BLOCKING TO BE TREATED WITH FIRE RETARDANT CHEMICALS BY A PRESSURE-IMPREGNATION PROCESS OR OTHER METHODS WHICH TREAT THE MATERIAL THROUGHOUT. THE MATERIAL SHALL BEAR ALL REQUIRED RATINGS AND MATERIAL STAMPS. ALL FIRE RETARDANT BLOCKING TO BE IN CONTACT WITH METAL TO BE PRIMED PRIOR TO INSTALLATION.
29. ALL EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS AT PENETRATION OF UTILITIES THROUGH THE ENVELOPE, SHALL BE SEALED, CAULKED OR WEATHER-STRIPPED TO PREVENT AIR LEAKAGE/INFILTRATION.
30. ALL EXPOSED MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, CONDUTS, ETC. SHALL BE PAINTED AND COLOR CODED AS DIRECTED.
31. ALL RECESSED CABINETS, PANELS, BOXES LOCATED IN FIRE-RATED WALLS SHALL BE INSTALLED TO MAINTAIN THE FIRE-RATED CONSTRUCTION.
32. ALL ARCHITECTURAL WOODWORK/PANELING SHALL BE TREATED WITH MATERIALS COMPLYING WITH APPLICABLE FLAME SPREAD AND SMOKE DEVELOPMENT RATING REQUIREMENTS. ALL WOOD USED IN BACKING AND BLOCKING SHALL BE FIRE RETARDANT TREATED.
33. THE CONTRACTOR SHALL VISIT THE SITE AND BUILDING AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. HE OR SHE SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY SITE AND BUILDING CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
34. DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. THE OWNER AND/OR THE ARCHITECT EXERCISE NO CONTROLS OVER THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS OR OTHER DEVICES USED IN OR ABOUT THE PROJECT. OR IN THE SUPERINTENDING OF THE SAME, THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. THE OWNER AND/OR ARCHITECT ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE. NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
35. WORK IN PUBLIC STREETS, ONCE BEGIN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
36. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY MEASURE NECESSARY TO COMPLY WITH ANY STATE, COUNTY OR LOCAL DUST CONTROL ORDINANCE.
37. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS OR MUD TRACKED ONTO EXISTING DRIVES AND/OR ROADWAYS.
38. WALL AND CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE RESISTIVE RATING SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CODES.
39. GYPSUM BOARD CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED STATES GYPSUM ASSOCIATION. ALL FLOORS SHALL BE LEVEL AND FREE OF IRREGULARITIES TO ASSURE ONE CONSTANT FLOOR HEIGHT. WHEN DOOR BUCKS ARE SET A CONVENTIONAL DIMENSION FROM CEILING, NO GAPS SHOULD APPEAR BETWEEN THE BOTTOM OF THE DOOR AND THE DOOR THRESHOLD AFTER FLOOR FINISHES ARE APPLIED. ANY UNAVOIDABLE CHANGES IN FLOOR HEIGHT SHALL BE GRADUALLY RAISED AND TROWELED TO CREATE A RAMPLE EFFECT.
40. ALL CONTRACTORS ARE RESPONSIBLE FOR LAYING OUT EQUIPMENT PLANS TO AVOID INTERFERENCES BETWEEN BUILDING COMPONENTS.
41. ALL OPENINGS IN FIRE-RATED WALLS, INCLUDING THOSE FOR DUCTS, CONDUT, PIPING, ETC. MUST BE FILLED WITH APPROVED MATERIALS TO MAINTAIN THE FIRE-RATING CONTINITY OF THE WALL CONSTRUCTION. INCLUDING FIRE DAMPERS FOR DUCTS AND PLenum SYSTEMS.
42. ALL OPENINGS IN FLOOR SLABS AND ROOF, INCLUDING THOSE FOR DUCTS, CONDUT, PIPING, ETC. (EXCEPT THOSE CLOSED COMPLETELY BY FIRE RESISTANT SHUT CONSTRUCTION) MUST BE SLEEVED OR OTHERWISE SEALED AT THEIR PERIMETER WITH APPROVED METHODS TO MAINTAIN THE FIRE-RATING CONTINITY OF THE FLOOR CONSTRUCTION.
43. ALL NEW CONSTRUCTION SHALL CONFORM WITH THE FINISH SCHEDULE AND SPECIFICATIONS IN COLOR, TEXTURE, AND GENERAL APPEARANCE.
44. ALL OPEN SPACES AS EXPOSED NEP ITEMS ABOVE TRAY AND/OR CLOUD-STYLE CEILING ARE TO BE PAINTED FLAT BLACK FROM THE CEILING ELEVATION UP TO AND INCLUDING THE ROOF/FLOOR DECK & STRUCTURE ABOVE.
45. ALL BUILT-IN PLUMBING FIXTURES TO BE SUPPLIED AND INSTALLED BY THE PLUMBING CONTRACTOR. PLUMBING CONTRACTOR SHALL SUPPLY ALL NECESSARY INFORMATION FOR CUT-OUTS TO BE PERFORMED.
46. ALL OUTSIDE CORNERS AT GYPSUM BOARD SHALL HAVE CONTINUOUS CORNER BEAD PER SPECIFICATIONS. ALL EXPOSED GYPSUM BOARD EDGES (AND AS NOTED) SHALL HAVE J-BEAD CONTINUOUS.
47. ALL PLYWOOD USED IN EXTERIOR CONSTRUCTION IS TO BE APPARATED EXTERIOR GRADE AND BE FIRE-RESISTANT. ALL GYPSUM BOARD USED IN EXTERIOR CONSTRUCTION SHALL BE FIBERGLASS-BACKED AND NOT CONTAIN ANY MATERIAL THAT CAN HARBOR MOISTURE AND/OR MOLD.
48. ALL GYPSUM BOARD TO 4 FEET ABOVE FINISHED FLOOR IN CORRIDORS IS TO BE ABUSE RESISTANT GYPSUM BOARD UNLESS OTHERWISE NOTED.
49. ALL CONTRACTORS TO BE RESPONSIBLE FOR THEIR OWN CONCRETE HOUSEKEEPING PADS FOR ALL MECHANICAL AND ELECTRIC EQUIPMENT.
50. ALL TRADES TO COMPLY WITH REQUIREMENTS OF SECTION 078413 "PENETRATION FIRESTOPPING" AND SECTION 078466 "FIRE-RESISTIVE JOINTS".
51. ALL OPENINGS IN WALL PARTITIONS TO BE DONE BY MASON OR METAL FRAMING CONTRACTOR, PROVIDE LINTELS BY GENERAL LINTEL SCHEDULE.
52. OPENINGS IN FLOORS OR ROOFS TO BE DONE BY GENERAL TRADES CONTRACTOR AND PAID BY EACH TRADE CONTRACTOR UNLESS OTHERWISE NOTED. COORDINATE WITH STRUCTURAL DRAWINGS.
53. ALL PAINT WORK TO BE BY GENERAL TRADES CONTRACTOR, UNLESS OTHERWISE NOTED.
54. ALL WORK DAMAGED DURING CONSTRUCTION TO BE REPAIRED BY ON SITE TRADE TYPE AND PAID BY RESPONSIBLE CONTRACTOR.
55. GC & ELECTRICAL CONTRACTOR ARE TO COORDINATE ALL REQUIREMENTS OF DOOR ELECTRIC HARDWARE. SEE PLANS AND DOORS TO FUNCTION AS DESIGNED DOOR HARDWARE SCHEDULE. PROVIDE ALL NECESSARY EQUIPMENT FOR DOORS TO FUNCTION AS DESIGNED.
56. DOOR HARDWARE ITEMS ARE NOT LIMITED SOLELY TO DOOR HARDWARE SCHEDULE. HARDWARE PROVIDER IS TO COORDINATE

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2024 OHIO BUILDING CODE

CHAPTER 2 - DEFINITIONS

HIGH-RISE BUILDING: A BUILDING WITH AN OCCUPIED FLOOR LOCATED MORE THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.

TOP OCCUPIED FLOOR IN SCOPE (LEVEL 14, RES. 8) = 150'-0"

BUILDING HEIGHTS AND FLOOR NAMING:

AVERAGE ROOF HEIGHT ABOVE MEAN SEA LEVEL: 240'-0"

100'-0" = TBD

LEVEL #	NAME	HEIGHT:	FLOOR HT:	AREA:	OCCUPANCY:
LEVEL 20	OFFICE 10	227'-0"	13'-0"		
LEVEL 19	OFFICE 9	214'-0"	13'-0"		
LEVEL 18	OFFICE 8	201'-0"	13'-0"		
LEVEL 17	OFFICE 7	188'-0"	13'-0"		
LEVEL 16	OFFICE 6	175'-0"	13'-0"		
LEVEL 15	OFFICE 5	162'-0"	12'-6"		

LEVEL 14	RES. 8	150'-0"	12'-6"	31,291 SF	157 OCC.
LEVEL 11	RES. 7	137'-0"	12'-6"	31,034 SF	156 OCC.
LEVEL 10	RES. 6	125'-0"	12'-6"	29,827 SF	150 OCC.
LEVEL 9	RES. 5/1 ATRIUM	112'-6"	12'-6"	34,727 SF	174 OCC.
LEVEL 8	RES. 4	100'-0"	12'-6"	32,227 SF	162 OCC.
LEVEL 7	RES. 3	87'-0"	12'-6"	32,227 SF	162 OCC.
LEVEL 6	RES. 2	75'-0"	12'-6"	32,227 SF	162 OCC.
LEVEL 5	RES. 1/1 ATRIUM	62'-6"	12'-6"	34,727 SF	174 OCC.

LEVEL 4	OFFICE 4	50'-0"	12'-6"		
LEVEL 3	OFFICE 3	37'-0"	12'-6"		
LEVEL 2	OFFICE 2	25'-0"	12'-6"		
LEVEL 1 MEZZ.	LOBBY MEZZ.	12'-6"	12'-6"		
LEVEL 1	LOBBY / OFFICE 1	10'-0"	12'-6"		

240'-0"

CHAPTER 3 - GENERAL BUILDING HEIGHTS & AREAS

HEIGHT LIMITATIONS (SPRINKLERED, NFPA 13):

TABLE 504.3 - ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE

TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

USE:	ALLOWABLE (FEET)	PROPOSED (FEET)	ALLOWABLE (STORIES)	PROPOSED (STORIES)
A	UL	112'-4"	UL	9
R	UL	150'-4"	UL	14

AREA LIMITATIONS

TABLE 508.2 - ALLOWABLE AREA FACTOR

USE:	ALLOWABLE AREA (SQ. FT.)	PROPOSED MAX. FLOOR AREA (SQ. FT.)
A-3	(SM) - UNLIMITED	3,990 SF
R-2	(SM) - UNLIMITED	25,543 SF

TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

A - R 1-HR

CHAPTER 6 - TYPES OF CONSTRUCTION

CONSTRUCTION TYPE 1A (PER OBC 2024)

SEE 1979 OHIO BASIC BUILDING CODE (PREVIOUS CODE) TABLE 401

EXISTING CONCRETE FLOOR PROVIDES 2 HOUR FIRE-RESISTANCE RATING PER TABLE T22.2.2.1, OBC 2024.

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

701 FIRE BARRIERS

SECTION:	LOCATION:	FIRE RATING:
707.3.1, 713.4	SHAFT ENCLOSURES	1 HR - < 4 FLOORS; 2 HR - ≥ 4 FLOORS
707.3.2, 1023.1	INTERIOR EXIT STAIRWAY AND RAMP CONSTRUCTION	2 HR
707.3.6, 404.6	ATRIUM ENCLOSURES	1 HR (OR EXCEPTION)
911.1.2	FIRE COMMAND CENTER	1 HR
913.2.1	FIRE PUMP ROOM	2 HR
3005.4	MACHINE ROOM, CONTROL ROOMS/SPACE, MACHINERY OUTSIDE HOISTWAY	SAME AS HOISTWAY WHEN ABUTTED OTHERWISE 1 HR

708 FIRE PARTITIONS

SECTION:	LOCATION:	FIRE RATING:
708.1#1, 420.2	SEPARATION WALLS	1 HR (DWELLING UNITS); SEE OBC; UPGRADE TO FIRE BARRIER
708.1#3, 1020.1	CORRIDOR WALLS	0 HR (A), 0.5 HR (R) SEE OBC; UPGRADE TO 1-HR PARTITION
708.1#4, 3006.3	ENCLOSED ELEV. LOBBY	1 HR

CHAPTER 8 - INTERIOR FINISHES

TABLE 803.13 INTERIOR WALL AND CEILING FINISHES (SPRINKLERED)

USE:	VERTICAL EXITS	EXITS ACCESS CORRIDOR:	ROOMS AND ENCLOSED SPACES:
S	CLASS C	CLASS C	CLASS C
R-2	CLASS C	CLASS C	CLASS C

CLASS A =	FLAME SPREAD INDEX	0-25
	SMOKE-DEVELOPED INDEX	0-450
CLASS B =	FLAME SPREAD INDEX	26-75
	SMOKE-DEVELOPED INDEX	0-450
CLASS C =	FLAME SPREAD INDEX	76-200
	SMOKE-DEVELOPED INDEX	0-450

804.4 INTERIOR FLOOR FINISH REQUIREMENTS. IN ALL OCCUPANCIES, INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE DCC FF-1 "TILL TEST" (CPSC 16 CFR PART 1630) OR WITH ASTM D2859.

804.2 MINIMUM CRITICAL RADIANT FLUX. ALL FLOOR FINISHES IN VERTICAL EXITS AND EXIT ACCESS CORRIDORS SHALL BE NO LESS THAN CLASS II AND COMPLY WITH DCC FF-1 "TILL TEST".

CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS

903 AUTOMATIC SPRINKLER SYSTEMS. BUILDING IS FULLY PROTECTED WITH AUTOMATIC SPRINKLER SYSTEM PER NFPA 13

906 PORTABLE FIRE EXTINGUISHERS. PROVIDED WITH 75' MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER OR MAXIMUM FLOOR AREA OF 11,200 SF PER EXTINGUISHER, ALSO WITHIN 30 FEET DISTANCE OF TRAVEL FROM COMMERCIAL COOKING EQUIPMENT

EXCEPTIONS:

IN GROUP R-2 OCCUPANCIES, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATIONS SPECIFIED IN ITEMS 2 THROUGH 6 WHERE EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C.

907 FIRE ALARM AND DETECTION SYSTEM REQUIREMENTS

BASED UPON USE: GROUP THE FIRE ALARM AND DETECTION SYSTEM SHALL BE EXECUTED BY A CERTIFIED FIRE PROTECTION SYSTEM CONTRACTOR AND SHALL BE SUBMITTED FOR REVIEW AND APPROVED BY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF THE SYSTEM

EXISTING FIRE COMMAND CENTER TO BE RELOCATED PER NEW OBC SECTION 911 CODE?

EXISTING FIRE PUMP ROOM TO REMAIN?

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

PROPOSED PRIMARY USES:

LEVEL 1 - LOBBY:

310.3

LEVEL 5 - ATRIUM FLOOR:

310.3

LEVEL 6 - 8:

310.3

LEVEL 9 - ATRIUM FLOOR:

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LEVEL 10 - 11, 14 (LEVEL 12 AND 13 DO NOT EXIST):

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2024 OHIO EXISTING BUILDING CODE

CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS

301.3 ALTERATION, ADDITION OR CHANGE OF OCCUPANCY. THE ALTERATION, ADDITION OR CHANGE OF OCCUPANCY OF ALL EXISTING BUILDINGS SHALL COMPLY WITH ONE OF THE METHODS LISTED IN SECTION 301.3.1, 301.3.2 OR 301.3.3 AS SELECTED BY THE APPLICANT. SECTIONS 301.3.1 THROUGH 301.3.3 SHALL NOT BE APPLIED IN COMBINATION WITH EACH OTHER.

ALTERATION AND CHANGE OF USE

301.3.3 PERFORMANCE COMPLIANCE METHOD

ALTERATIONS, ADDITIONS AND CHANGES OF OCCUPANCY COMPLYING WITH SECTIONS 302 THROUGH 309 AND CHAPTER 13 OF THIS CODE ARE TO BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

SECTION 302 - GENERAL PROVISIONS

302.4.1 NEW STRUCTURAL MEMBERS AND CONNECTIONS. NEW STRUCTURAL MEMBERS AND CONNECTIONS SHALL COMPLY WITH THE DETAILING PROVISIONS OF THE BUILDING CODE FOR NEW BUILDINGS OF SIMILAR STRUCTURE, PURPOSE AND LOCATION. EXCEPTION: WHERE ALTERNATIVE DESIGN CRITERIA ARE SPECIFICALLY PERMITTED.

302.5 OCCUPANCY AND USE

WHERE DETERMINING THE APPROPRIATE APPLICATION OF THE REFERENCED SECTIONS OF THIS CODE, THE OCCUPANCY AND USE OF A BUILDING SHALL BE DETERMINED IN ACCORDANCE WITH CHAPTER 3 OF THE BUILDING CODE.

SEE SEPARATE OBC CODE DATA SECTION

302.7 FIRE-RESISTANCE DETERMINATION FOR EXISTING ASSEMBLIES AND MATERIALS. 1-HOUR TO LESS THAN 2-HOUR FIRE-RESISTANCE RATING, WITH DOORS CONFORMING TO SECTION 716 OF THE INTERNATIONAL BUILDING CODE OR CORRIDORS AS PERMITTED BY SECTION 1020 OF THE INTERNATIONAL BUILDING CODE TO BE WITHOUT A FIRE-RESISTANCE RATING. 0 POINTS

SECTION 303 - STORM SHELTERS

SECTION 304 - STRUCTURAL DESIGN LOADS AND EVALUATION

304.1 LIVE LOADS

WHERE AN ADDITION OR ALTERATION DOES NOT RESULT IN INCREASED DESIGN LIVE LOAD, EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENTS SHALL BE PERMITTED TO BE EVALUATED AND DESIGNED FOR LIVE LOADS APPROVED PRIOR TO THE ADDITION OR ALTERATION, IF THE APPROVED LIVE LOAD IS LESS THAN THAT REQUIRED BY SECTION 1607 OF THE BUILDING CODE. THE AREA DESIGNATED FOR THE NONCONFORMING LIVE LOAD SHALL BE LIMITED BY PLACARDS OF APPROVED DESIGN INDICATING THE APPROVED LIVE LOAD. WHERE THE ADDITION OR ALTERATION RESULTS IN INCREASED DESIGN LIVE LOAD, THE LIVE LOAD REQUIRED BY SECTION 1607 OF THE BUILDING CODE SHALL BE USED.

SECTION 305 - IN-SITU LOAD TESTS

SECTION 306 - ACCESSIBILITY FOR EXISTING BUILDINGS

BUILDINGS AND FACILITIES ARE TO BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THIS CODE AND THE APPLICABLE SECTIONS OF THE ICC A117.1 STANDARD REFERENCED IN CHAPTER 16 BASED UPON THE SCOPE OF WORK.

1105.3.2 OTHER EGRESS: 0.2 INCHES / OCC. (SPRINKLERED) ALLOWABLE MIN. WIDTH: ~325 OCC x 0.15 = 65 INCHES REQUIRED

242 INCHES x 3 INT. EXIT STAIRS = 132 INCHES PROVIDED

306.5 CHANGE OF OCCUPANCY

EXISTING BUILDINGS THAT UNDERGO A CHANGE OF GROUP OR OCCUPANCY SHALL COMPLY WITH SECTION 306.7. EXCEPTION: TYPE B DWELLING OR SLEEPING UNITS REQUIRED BY SECTION 1108 OF THE BUILDING CODE ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS AND FACILITIES UNDERGOING A CHANGE OF OCCUPANCY IN CONJUNCTION WITH ALTERATIONS WHERE THE WORK AREA IS 50 PERCENT OR LESS OF THE AGGREGATE AREA OF THE BUILDING.

306.7 ALTERATIONS

A FACILITY THAT IS ALTERED SHALL COMPLY WITH THE APPLICABLE PROVISIONS IN CHAPTER 11 OF THE BUILDING CODE, ICC A117.1 AND THE PROVISIONS OF SECTIONS 306.7.1 THROUGH 306.7.16, UNLESS TECHNICALLY INFEASIBLE, WHERE COMPLIANCE WITH THIS SECTION IS TECHNICALLY INFEASIBLE, THE ALTERATION SHALL PROVIDE ACCESS TO THE MAXIMUM EXTENT TECHNICALLY FEASIBLE.

306.7.2 ACCESSIBLE MEANS OF EGRESS

ACCESSIBLE MEANS OF EGRESS REQUIRED BY CHAPTER 10 OF THE BUILDING CODE ARE NOT REQUIRED TO BE ADDED IN EXISTING FACILITIES.

306.7.7 ELEVATORS

ALTERED ELEMENTS OF EXISTING ELEVATORS SHALL COMPLY WITH ASME A17.1. SUCH ELEMENTS SHALL ALSO BE ALTERED IN ELEVATORS PROGRAMMED TO RESPOND TO THE SAME HALL CALL CONTROL AS THE ALTERED ELEVATOR.

306.7.10 DETERMINATION OF NUMBER OF UNITS

WHERE CHAPTER 11 OF THE BUILDING CODE REQUIRES ACCESSIBLE, TYPE A OR TYPE B UNITS AND WHERE SUCH UNITS ARE BEING ALTERED OR ADDED, THE NUMBER OF ACCESSIBLE, TYPE A AND TYPE B UNITS SHALL BE DETERMINED IN ACCORDANCE WITH SECTIONS 306.7.10.1 THROUGH 306.7.10.3.

306.7.10.2 TYPE A DWELLING OR SLEEPING UNITS. WHERE MORE THAN 20 GROUP R-2 DWELLING OR SLEEPING UNITS ARE BEING ALTERED OR ADDED, THE REQUIREMENTS OF SECTION 1108 OF THE BUILDING CODE FOR TYPE A UNITS APPLY ONLY TO THE QUANTITY OF THE SPACES BEING ALTERED OR ADDED.

306.7.10.3 TYPE B DWELLING OR SLEEPING UNITS. WHERE FOUR OR MORE GROUP 1-1, 1-2, R-1, R-2, R-3 OR R-4 DWELLING OR SLEEPING UNITS ARE BEING ADDED, THE REQUIREMENTS OF SECTION 1108 OF THE BUILDING CODE FOR TYPE B UNITS APPLY ONLY TO THE QUANTITY OF THE SPACES BEING ADDED.

SECTION 307 - SMOKE ALARMS

307.1 SMOKE ALARMS. WHERE AN ALTERATION, ADDITION, CHANGE OF OCCUPANCY OR RELOCATION OF AN EXISTING BUILDING OCCURS THAT CAUSES CHANGES TO SLEEPING ROOMS OR IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS IN GROUP R OR I OCCUPANCIES, SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

307.1.1 POWER SOURCE. REQUIRED SMOKE ALARMS ARE TO RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE FOR THE FOLLOWING CONDITIONS:

307.1.2 INTERCONNECTION

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION 307.1, THE ALARM DEVICES ARE TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS IS NOT REQUIRED WHERE LISTED LOW-POWER RADIO (WIRELESS) ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.

SECTION 308 - CARBON MONOXIDE DETECTION

308.1 CARBON MONOXIDE DETECTION. WHERE AN ADDITION, ALTERATION, CHANGE OF OCCUPANCY OR RELOCATION OF A BUILDING IS MADE TO GROUP 1-1, 1-2, 1-4 AND R OCCUPANCIES AND IN CLASSROOMS OF GROUP C OCCUPANCIES WHERE THOSE OCCUPANCIES INCLUDE ANY OF THE CONDITIONS IDENTIFIED IN SECTION 915 OF THE BUILDING CODE, THE EXISTING BUILDING IS TO BE PROVIDED WITH CARBON MONOXIDE ALARMS IN ACCORDANCE WITH THE BUILDING CODE.

SECTION 309 - ADDITIONS AND REPLACEMENTS OF EXTERIOR WALL

309.1 GENERAL

THE PROVISIONS OF SECTION 309 APPLY TO ALL ALTERATIONS, REPAIRS, ADDITIONS, RELOCATIONS OF STRUCTURES AND CHANGES OF OCCUPANCY REGARDLESS OF COMPLIANCE METHOD.

309.2 ADDITIONS AND REPLACEMENTS

WHERE AN EXTERIOR WALL COVERING OR EXTERIOR WALL ENVELOPE IS ADDED OR REPLACED, THE MATERIALS AND METHODS USED SHALL COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION IN CHAPTER 14 AND CHAPTER 26 OF THE BUILDING CODE IF THE ADDED OR REPLACED EXTERIOR WALL COVERING OR EXTERIOR WALL ENVELOPE INVOLVES TWO OR MORE CONTIGUOUS STORIES AND COMPRISES MORE THAN 15 PERCENT OF THE TOTAL WALL AREA ON ANY SIDE OF THE BUILDING.

CHAPTER 13 PERFORMANCE COMPLIANCE METHODS

1301.6 EVALUATION PROCESS

1301.6.1 BUILDING HEIGHT

UNLIMITED HEIGHT EQUALS INFINITE. 10 POINTS MAX.

1301.6.2 BUILDING AREA

UNLIMITED AREA EQUALS INFINITE - MAXED AT HALF OF TYPER MAX FIRE SAFETY VALUE. 10.5 POINTS MAX

1301.6.3 COMPARTMENTATION

OPTIONS: STRATEGY TBD; CONFIRM

CATEGORY C—COMPARTMENT SIZE OF 15,000 SQUARE FEET OR MORE. 0 POINTS

CATEGORY B—COMPARTMENT SIZE OF 10,000 SQUARE FEET OR LESS. 4 POINTS

1301.6.4 TENANT AND DWELLING UNIT SEPARATIONS

SELECTED:

CATEGORY D—FIRE BARRIERS WITH 1-HOUR BUT LESS THAN 2-HOUR FIRE-RESISTANCE RATINGS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OF THE INTERNATIONAL BUILDING CODE AND FLOOR ASSEMBLIES WITH 2-HOUR OR GREATER FIRE-RESISTANCE RATINGS CONSTRUCTED IN ACCORDANCE WITH SECTION 711 OF THE INTERNATIONAL BUILDING CODE. 2 POINTS

1301.6.5 CORRIDOR WALLS

SELECTED:

CATEGORY C—STANDPIPES ARE REQUIRED; STANDPIPES ARE PROVIDED IN ACCORDANCE WITH SECTION 905 OF THE INTERNATIONAL BUILDING CODE. 4 POINTS

1301.6.6 VERTICAL OPENINGS

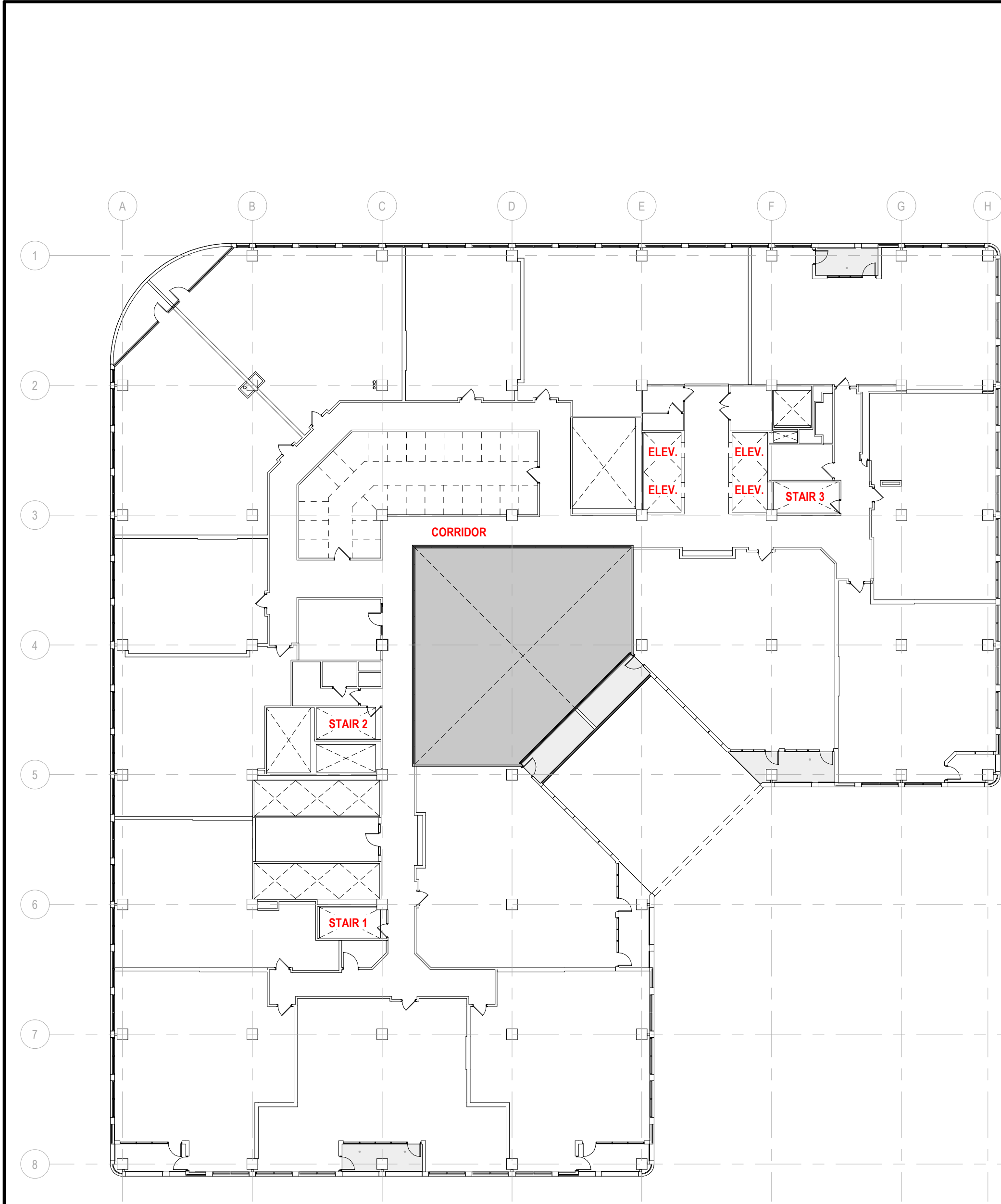
SELECTED:

CATEGORY D—COMPLIANCE OF THE HVAC SYSTEM WITH SECTION 1020.6 OF THE INTERNATIONAL BUILDING CODE AND SECTION 602 OF THE INTERNATIONAL MECHANICAL CODE. 0 POINTS

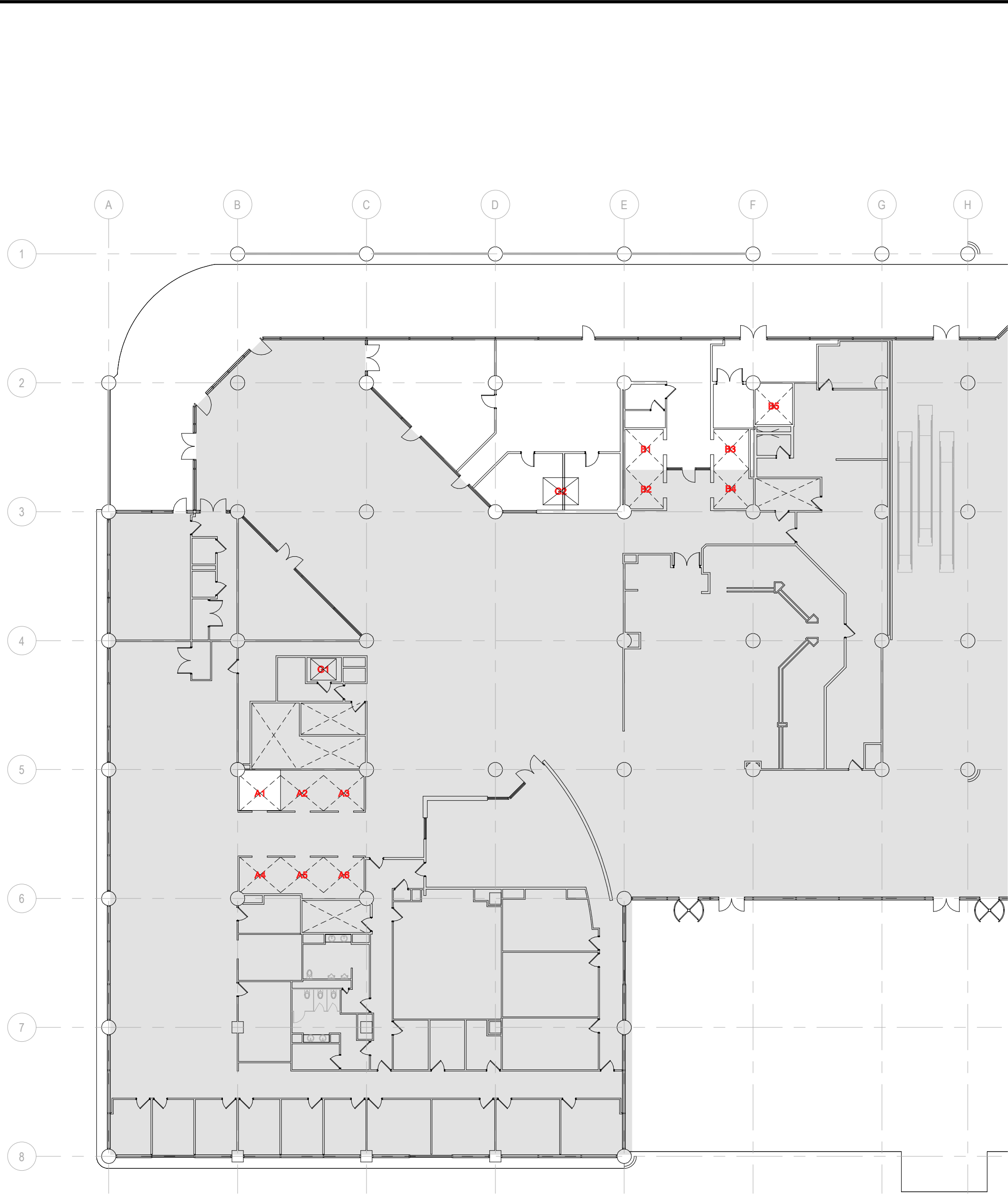
1301.6.7 HVAC SYSTEMS

SELECTED:

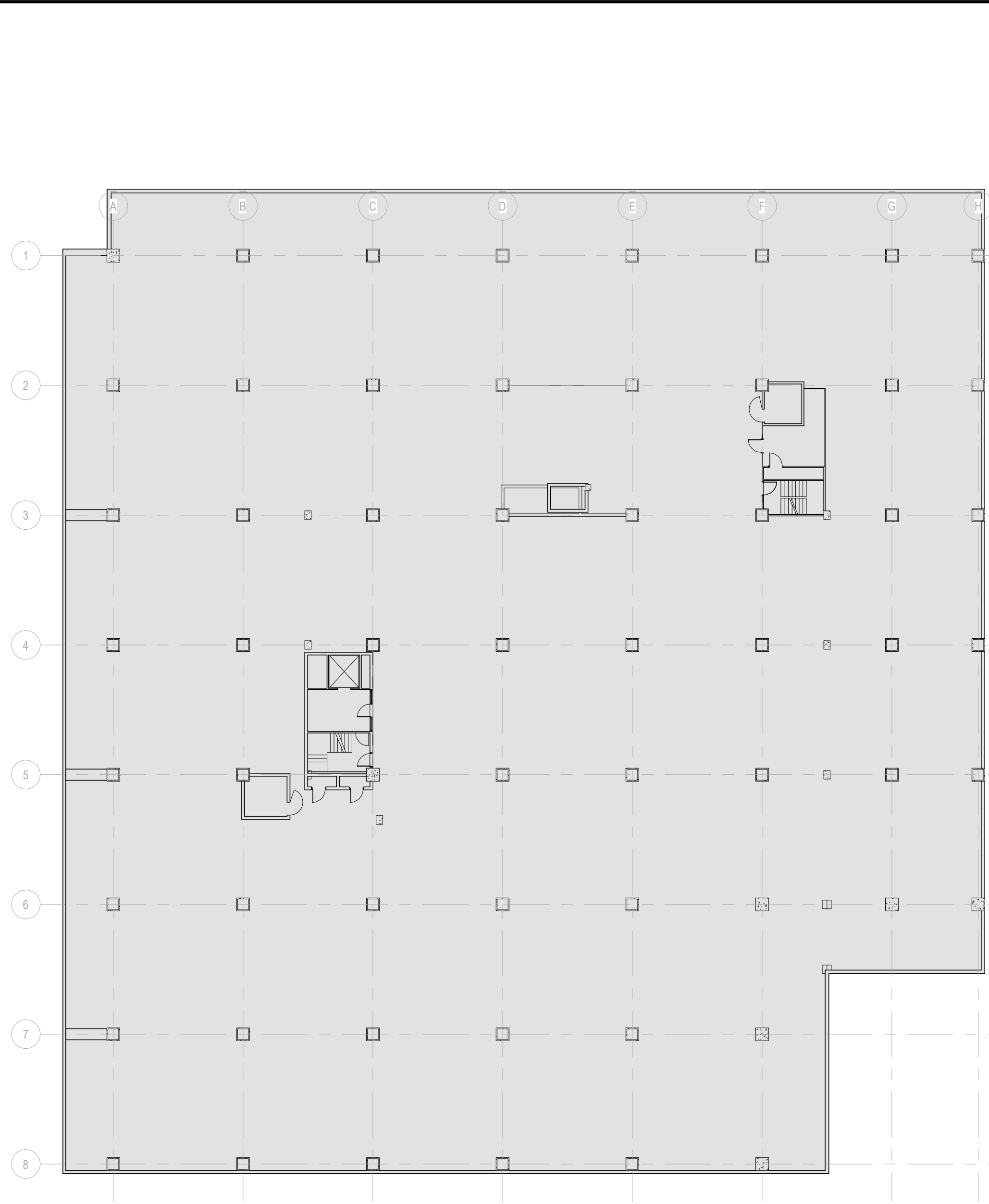
CATEGORY D—COMPLIANCE OF THE HVAC SYSTEM WITH SECTION 1020.6 OF THE INTERNATIONAL BUILDING CODE AND



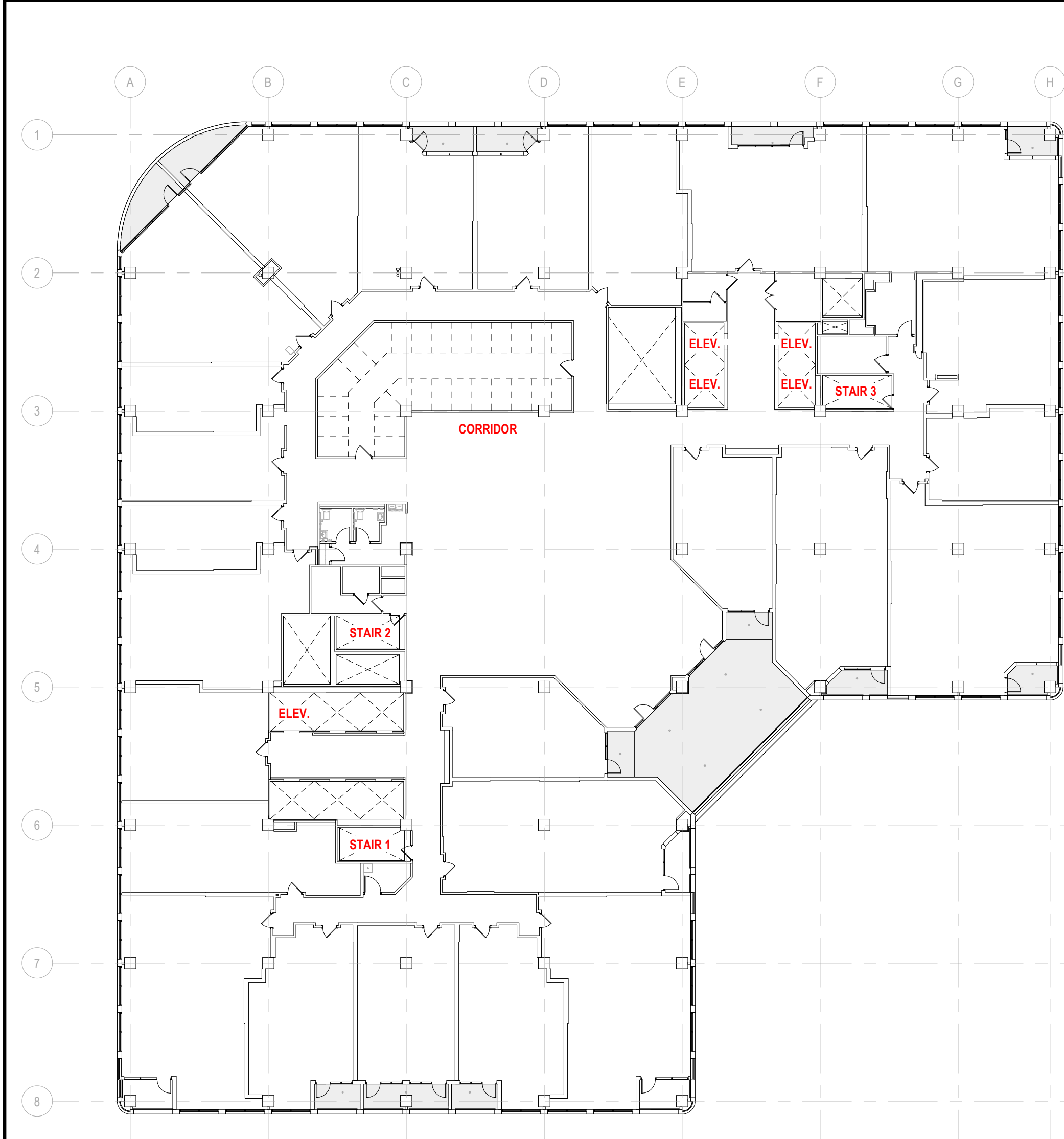
LEVEL 14 LIFE SAFETY PLAN
SCALE: 3/64" = 1'-0"



LEVEL 1 LIFE SAFETY PLAN
SCALE: 3/64" = 1'-0"



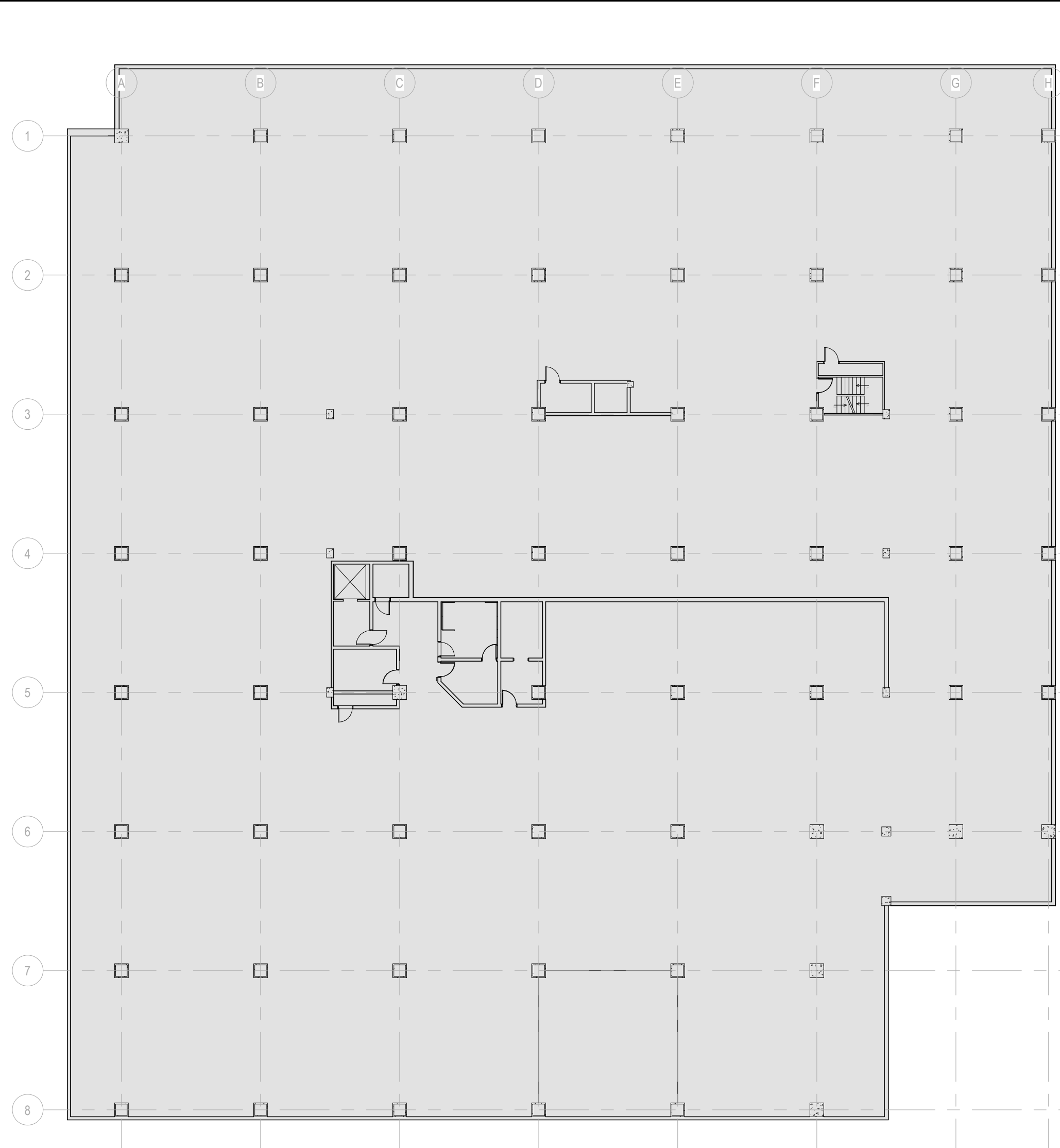
BASEMENT 2 LIFE SAFETY PLAN
SCALE: 3/64" = 1'-0"



LEVEL 5 LIFE SAFETY PLAN
SCALE: 3/64" = 1'-0"



BASEMENT 1 LIFE SAFETY PLAN
SCALE: 3/64" = 1'-0"



BASEMENT 3 LIFE SAFETY PLAN
SCALE: 3/64" = 1'-0"

CODE REVIEW LEGEND

---	30-MIN FIRE SEPARATION
	1-HOUR FIRE SEPARATION
	2-HOUR FIRE SEPARATION

SYMBOLS & PATHS

	COMMON EGRESS PATH MAXIMUM TRAVEL DISTANCE VS ACTUAL
	FIRE EXTINGUISHER CABINET / FIRE EXTINGUISHER
	OCCUPANCY & MAX EGRESS CAPACITY - COMMON PATH OF TRAVEL
	EXIT SIGN + DIRECTIONS
	EMERGENCY LIGHTS

ELEVATOR ACCESS BY LEVEL (PER 03/06/2026)

LEVELS:	ELEVATORS:											
	A1	A2	A3	A4	A5	A6	B1	B2	B3	B4	B5	C2
LEVEL 20												
LEVEL 19												
LEVEL 18												
LEVEL 17												
LEVEL 16												
LEVEL 15												
LEVEL 14												
LEVEL 13												
LEVEL 10												
LEVEL 9												
LEVEL 8												
LEVEL 7												
LEVEL 6												
LEVEL 5												
LEVEL 4												
LEVEL 3												
LEVEL 2												
LEVEL 1												
LEVEL MEZZANINE												
LEVEL 0												
BASEMENT 1												
BASEMENT 2												
BASEMENT 3												

LEGEND:

- FLOORS IN SCOPE
- ADD CHASE ROOM
- ADD FLOOR OPENING
- REMOVE ACCESS TO

555 CARR ST., CINCINNATI, OH 45202 | P 513.721-4880 | F 513.721-5611

ACABAY INC.
201 E 4TH ST. CINCINNATI, OH 45202
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

ATRIUM 1 RESIDENCES - LEVELS 5-14

NOT FOR CONSTRUCTION

ISSUED: DATE

SD SUBMITTAL 03/06/2026

SHEET TITLE

LIFE SAFETY AND EGRESS PLANS

SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2026
SHEET#	

G101

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[illegible]

	EXISTING AREAS:		PROPOSED WORK AREA:		LEASABLE AREA BREAKDOWNS:								BALCONIES:		
LEVEL:	GROSS OVERALL	CODE AREA	NET LEASABLE	ADDITION	UNIT GROSS	%	STORAGE GROSS	%	CORRIDOR	%	ATRIUM / AMENITY	%	OUTDOOR AMENITY	EXISTING	NEW UNIT BALCONIES
LEVEL 14	33,830	31,291	30,284	0	24,655	81%	1,228	4%	3,775	12%	577	2%	0	198	1,012
LEVEL 11	33,575	31,034	30,028	0	24,512	82%	1,228	4%	3,923	13%	282	1%	0	198	971
LEVEL 10	32,365	29,827	28,803	1,225	24,512	85%	1,228	4%	3,923	14%	282	1%	0	198	971
LEVEL 9	37,300	34,727	33,720	0	24,512	73%	1,228	4%	3,940	12%	3,971	12%	1,283	198	971
LEVEL 8	34,800	32,227	31,220	0	25,708	82%	1,228	4%	3,923	13%	282	1%	0	198	1,014
LEVEL 7	34,800	32,227	31,220	0	25,708	82%	1,228	4%	3,923	13%	282	1%	0	198	1,014
LEVEL 6	34,800	32,227	31,220	0	25,708	82%	1,228	4%	3,923	13%	282	1%	0	198	1,014
LEVEL 5	37,300	34,727	33,720	0	24,512	73%	1,228	4%	3,940	12%	3,971	12%	776	198	984
SUBTOTAL:	278,770	258,287	250,215	1,225	199,827	80%	9,824	4%	31,270	12%	9,929	4%	2,059	1,584	7,951

AREA INCLUDED
IN 'ATRIUM /
AMENITY'

AREA INCLUDED IN 'UNIT
GROSS'

NOTE: ALL AREAS TO BE CONFIRMED BY G.C.

DEFINITIONS:

GROSS OVERALL

SCOPE: AREA WITHIN **EXTERIOR FACE** OF EXISTING EXTERIOR WALL
EXCLUDES: ATRIUM SPACE

CODE AREA

SCOPE: AREA WITHIN **INTERIOR FACE** OF EXISTING EXTERIOR WALL
EXCLUDES: ATRIUM SPACE, SHAFTS

NET LEASABLE

SCOPE: AREA WITHIN **INTERIOR FACE** OF EXISTING EXTERIOR WALL
EXCLUDES: ATRIUM SPACE, SHAFTS, EXISTING UTILITY ROOMS

UNIT GROSS

SCOPE:	GROSS AREA WITHIN BOUNDARIES AS FOLLOWS BELOW
AT DEMISING:	CENTERLINE OF DEMISING WALL
AT CORRIDOR:	CORRIDOR SIDE OF STUD
AT EXIST. INTERIOR:	INTERIOR FINISH FACE
AT EXIST. EXTERIOR:	INTERIOR FINISH FACE
AT NEW EXTERIOR:	EXTERIOR SIDE OF STUD
*AT COLUMNS:	STRUCTURAL FACE (*WHEN DIMENSIONED PER INDIVIDUAL UNIT GSF)

STORAGE GROSS

SCOPE: GROSS AREA TO CORRIDOR FACE OF STUD

CORRIDOR

SCOPE: AREA TO CORRIDOR FACE OF STUD

ATRIUM / AMENITY

SCOPE: AREA TO ATRIUM FACE OF STUD AND EDGE OF HALLWAY

OUTDOOR AMENITY

SCOPE: AREA TO EXTERIOR FACE OF NEW STUD AND INTERIOR FACE OF EXISTING WALL

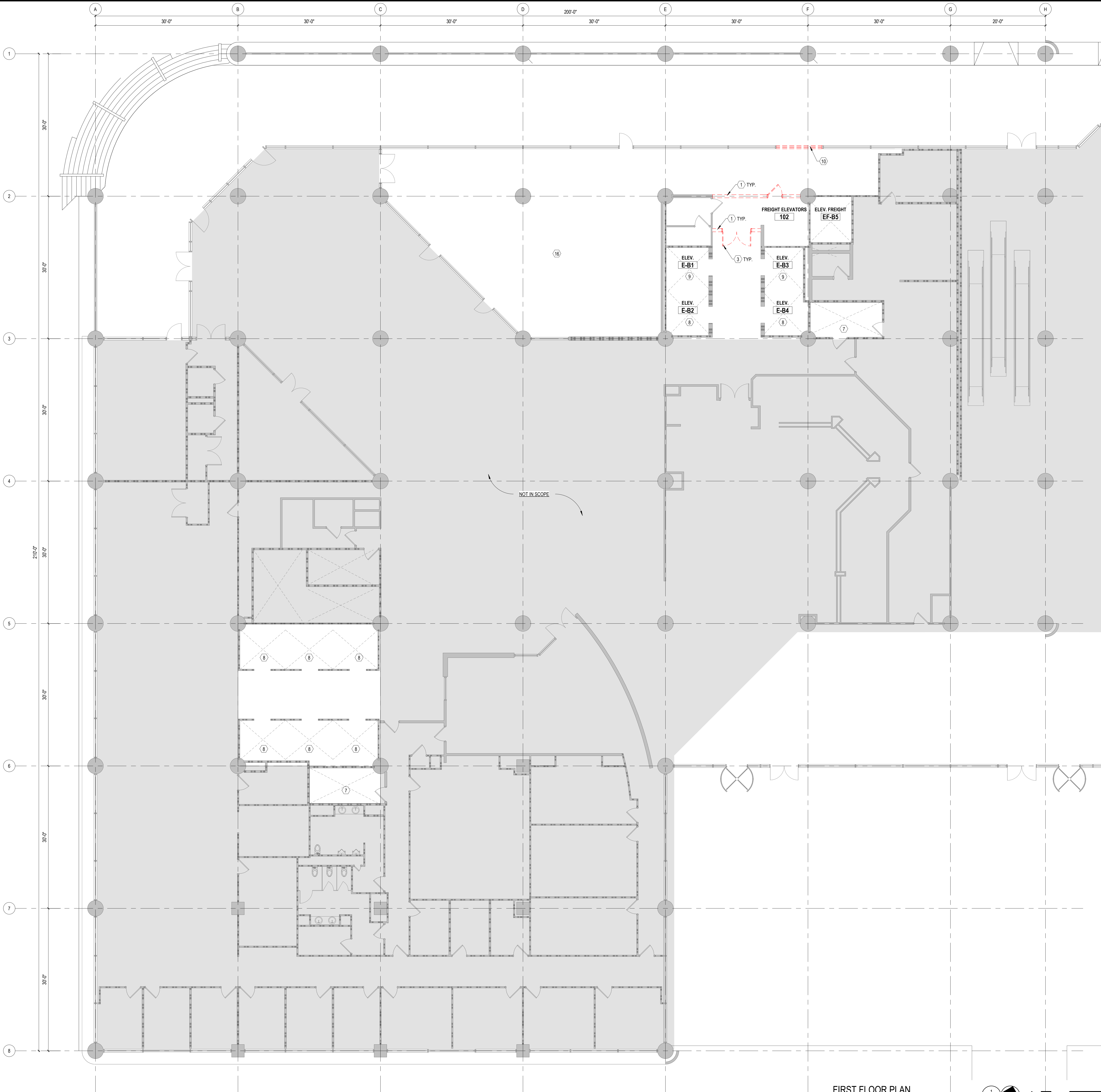
NEW UNIT BALCONIES

SCOPE: AREA TO EXTERIOR FACE OF NEW STUD AND INTERIOR FACE OF EXISTING WALL

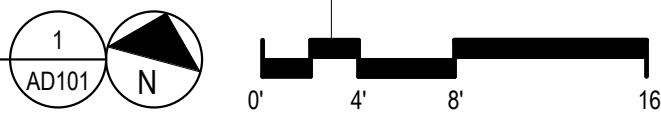
UNIT TABULATION

S = STUDIO, A = 1-BED, B = 2-BED, C = 3-BED -PH = PENTHOUSE LEVEL FINISH													AS OF 3/6/2026	
UNIT TYPES		UNIT COUNT PER LEVEL										GROSS GSF	BALC. SF	
UNIT TYPE	DESCRIPTION	L5	L6	L7	L8	L9	L10	L11	L14	L5-11	TOTAL			
S1	STUDIO	2	2	2	2	2	2	2	-	14	14	480	-	
S2	STUDIO	1	1	1	1	1	1	1	-	7	7	570	-	
S3	STUDIO	1	1	1	1	1	1	1	-	7	7	575	-	
3		4	4	4	4	4	4	4	0	28	28			
A1	1BD/1BA	2	-	-	-	2	2	2	-	8	8	710	60	
A2	1BD/1BA	1	1	1	1	1	1	1	-	7	7	755	95	
A3	1BD/1BA	1	1	1	1	1	1	1	-	7	7	780	-	
A4	1BD/1BA	1	1	1	1	1	1	1	-	7	7	795	-	
A5	1BD/1BA	2	2	2	2	2	2	2	-	14	14	800	70	
A6	1BD/1BA	2	2	2	2	2	2	2	-	14	14	805	55	
A7	1BD/1BA	1	1	1	1	1	1	1	-	7	7	830	-	
A8	1BD/1BA	1	1	1	1	1	1	1	-	7	7	890	-	
A9-PH	1BD/1BA	-	-	-	-	-	-	-	2	0	2	955	-	
A10	1BD/1.5BA + DEN	1	1	1	1	1	1	1	-	7	7	985	-	
A11	1BD/1.5BA + DEN	2	2	2	2	2	2	2	-	14	14	1,070	90	
11		14	12	12	12	14	14	14	2	92	94			
B1	2BD/2BA	1	1	1	1	1	1	1	-	7	7	1,150	70	
B2	2BD/2.5BA	-	2	2	2	-	-	-	-	6	6	1,180	70	
B3	2BD/2.5BA	2	-	-	-	2	2	2	-	8	8	1,245	70	
B4	2BD/2.5BA	2	2	2	2	2	2	2	-	14	14	1,300	65	
B5	2BD/2.5BA	-	2	2	2	-	-	-	-	6	6	1,345	75	
B6-PH	2BD/2.5BA	-	-	-	-	-	-	-	1	0	1	1,365	-	
B7-PH	2BD/1.5BA	-	-	-	-	-	-	-	1	0	1	1,370	-	
B8-PH	2BD/2BA	-	-	-	-	-	-	-	1	0	1	1,385	-	
B9	2BD/2.5BA	1	1	1	1	1	1	1	-	7	7	1,405	65	
B10-PH	2BD/2.5BA	-	-	-	-	-	-	-	1	0	1	1,490	60	
B11-PH	2BD/2.5BA	-	-	-	-	-	-	-	2	0	2	1,640	100	
B12-PH	2BD/2.5BA	-	-	-	-	-	-	-	1	0	1	1,760	115	
12		6	8	8	8	6	6	6	7	48	55			
C1	3BD/2.5BA	1	1	1	1	1	1	1	-	7	7	1,490	60	
C2-PH	3BD/2.5BA	-	-	-	-	-	-	-	2	0	2	1,600	90	
C3-PH	3BD/2.5BA	-	-	-	-	-	-	-	1	0	1	1,700	95	
C4-PH	3BD/2.5BA	-	-	-	-	-	-	-	1	0	1	1,825	-	
C5-PH	3BD/2.5BA	-	-	-	-	-	-	-	2	0	2	1,930	265	
5		1	1	1	1	1	1	1	6	7	13			
										175	190			
										L5-11 UNITS	TOTAL UNITS			
31 UNIT TYPES		25	25	25	25	25	25	25	15	175	190			

	BEDS PER FLOOR									
STUDIOS	4	4	4	4	4	4	0			
1-BEDS	14	12	12	12	14	14	14	2		
2-BEDS	12	16	16	16	12	12	12	14		
3-BEDS	3	3	3	3	3	3	3	18		
NUMBER OF BEDS	33	35	35	35	33	33	33	34	237271	



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.

B. REMOVE EXISTING FLOORING MATERIAL & BASE IN AREAS SCHEDULED TO RECEIVE NEW FINISHES UNLESS OTHERWISE INDICATED. PATCH AND/OR REPAIR DAMAGED WALL MATERIALS TO PROVIDE SUITABLE SUBSTRATE FOR NEW BASE. REFER TO INTERIOR FINISH DRAWINGS. COORDINATE WITH NEW FLOORING MANUFACTURER PRIOR TO BEGINNING.

- (X) DRAWING NOTES**
- WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, DEMOLISH ALL EXISTING WALLS AND WALL BASE. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - REMOVE EXISTING GYP. BD. AND METAL FURRING AROUND COLUMN.
 - WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, REMOVE ALL EXISTING DOORS AND FRAMES. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - REMOVE EXISTING FLOORING ACROSS THE ENTIRE FLOOR, U.N.O. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - REMOVE EXISTING CEILING ACROSS THE ENTIRE FLOOR, U.N.O. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - EXISTING ATRIUM AREA - SIDE WALL FINISHES AND SOFFIT FINISHES TO REMAIN.
 - EXISTING STAIRS AND RAILINGS TO REMAIN.
 - EXISTING ELEVATORS TO REMAIN.
 - EXISTING ELEVATORS TO BE REPROGRAMMED FOR NEW STOPS. SHAFTWAY AND CAB TO REMAIN. COORDINATE WITH NEW WORK.
 - REMOVE EXISTING ALUMINUM GLAZING SYSTEM.
 - REMOVE PORTION OF EXISTING ALUMINUM GLAZING SYSTEM - COORDINATE WITH NEW WORK.
 - REMOVE EXISTING SINKS, COUNTER TOP AND WALL-MOUNTED MIRROR.
 - REMOVE EXISTING TOILET FIXTURES, URINALS & PARTITION WALLS.
 - REMOVE EXISTING POLE & GLASS SCREEN.
 - REMOVE EXISTING SHOWERS & PARTITION WALLS.
 - PATCH AND REPAIR EXISTING FLOOR. POLISH AND BRING EXISTING FLOOR TO LIKE NEW QUALITY.
 - REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
 - EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND	
	AREA NOT IN SCOPE
	EXISTING WALL TO REMAIN
	EXISTING 1-HOUR WALL TO REMAIN
	EXISTING 2-HOUR WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED

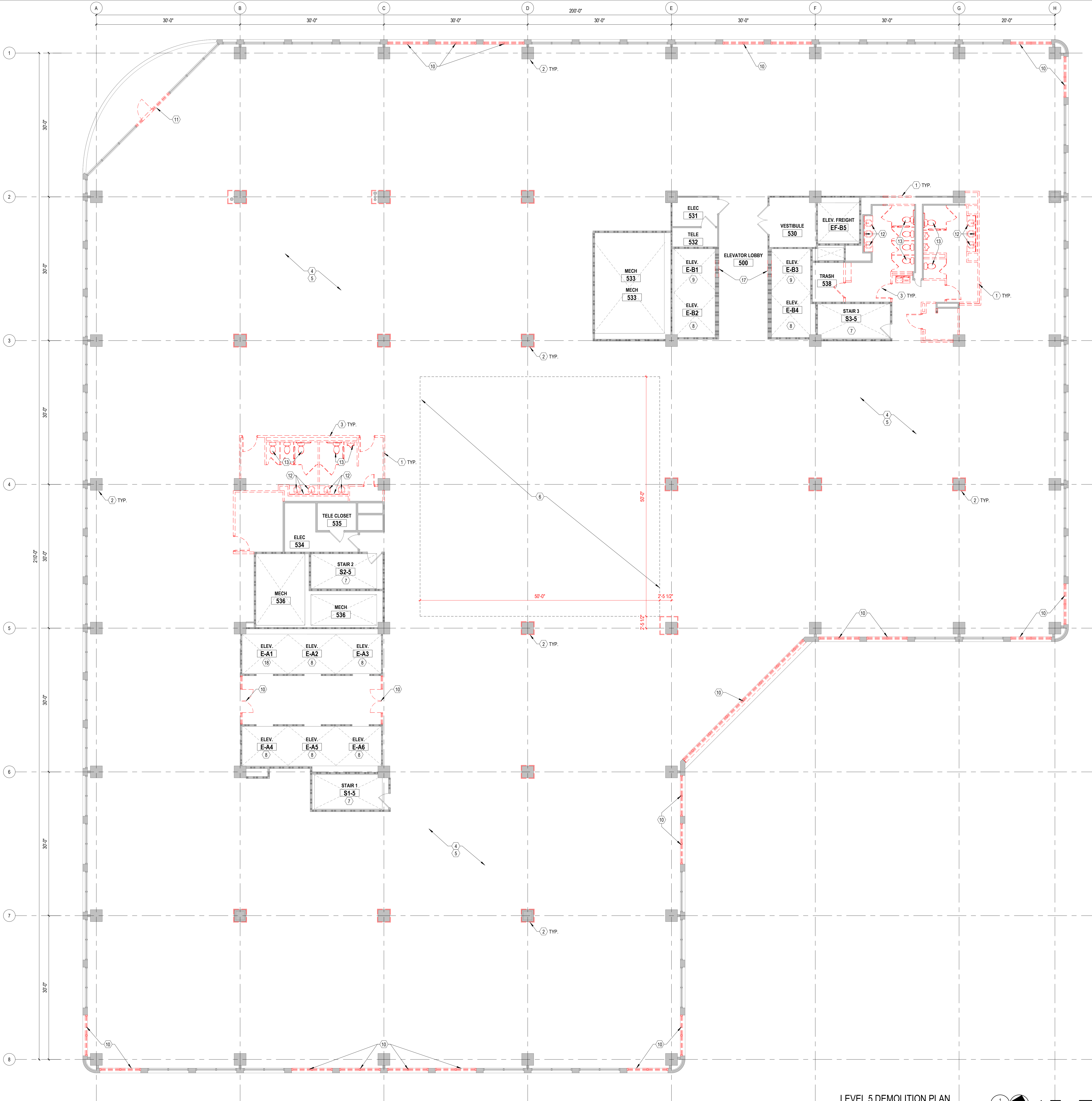
ATRIUM 1 RESIDENCES - LEVELS 5-14
201 E 4TH ST. CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
LEVEL 1 DEMOLITION PLAN	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025

AD101



LEVEL 5 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.

B. REMOVE EXISTING FLOORING MATERIAL & BASE IN AREAS SCHEDULED TO RECEIVE NEW FINISHES UNLESS OTHERWISE INDICATED. PATCH AND/OR REPAIR DAMAGED WALL MATERIALS TO PROVIDE SUITABLE SUBSTRATE FOR NEW BASE. REFER TO INTERIOR FINISH DRAWINGS. COORDINATE WITH NEW FLOORING MANUFACTURER PRIOR TO BEGINNING.

- (X) DRAWING NOTES**
- 1 WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, DEMOLISH ALL EXISTING WALLS AND WALL BASE. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - 2 REMOVE EXISTING GYP. BD. AND METAL FURRING AROUND COLUMN.
 - 3 WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, REMOVE ALL EXISTING DOORS AND FRAMES. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - 4 REMOVE EXISTING FLOORING ACROSS THE ENTIRE FLOOR, U.N.O. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - 5 REMOVE EXISTING CEILING ACROSS THE ENTIRE FLOOR, U.N.O. PATCH AND PREPARE FOR NEW CONSTRUCTION.
 - 6 EXISTING ATRIUM AREA - SIDE WALL FINISHES AND SOFFIT FINISHES TO REMAIN.
 - 7 EXISTING STAIRS AND RAILINGS TO REMAIN.
 - 8 EXISTING ELEVATORS TO REMAIN.
 - 9 EXISTING ELEVATORS TO BE REPROGRAMMED FOR NEW STOPS. SHAFTWAY AND CAB TO REMAIN. COORDINATE WITH NEW WORK.
 - 10 REMOVE EXISTING ALUMINUM GLAZING SYSTEM.
 - 11 REMOVE PORTION OF EXISTING ALUMINUM GLAZING SYSTEM - COORDINATE WITH NEW WORK.
 - 12 REMOVE EXISTING SINKS, COUNTER TOP AND WALL-MOUNTED MIRROR.
 - 13 REMOVE EXISTING TOILET FIXTURES, URINALS & PARTITION WALLS.
 - 14 REMOVE EXISTING POLE & GLASS SCREEN.
 - 15 REMOVE EXISTING SHOWERS & PARTITION WALLS.
 - 16 PATCH AND REPAIR EXISTING FLOOR. POLISH AND BRING EXISTING FLOOR TO LIKE NEW QUALITY.
 - 17 REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
 - 18 EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND

	AREA NOT IN SCOPE
	EXISTING WALL TO REMAIN
	EXISTING 1-HOUR WALL TO REMAIN
	EXISTING 2-HOUR WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED

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ACABAY INC.
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100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

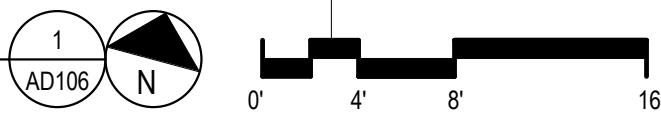
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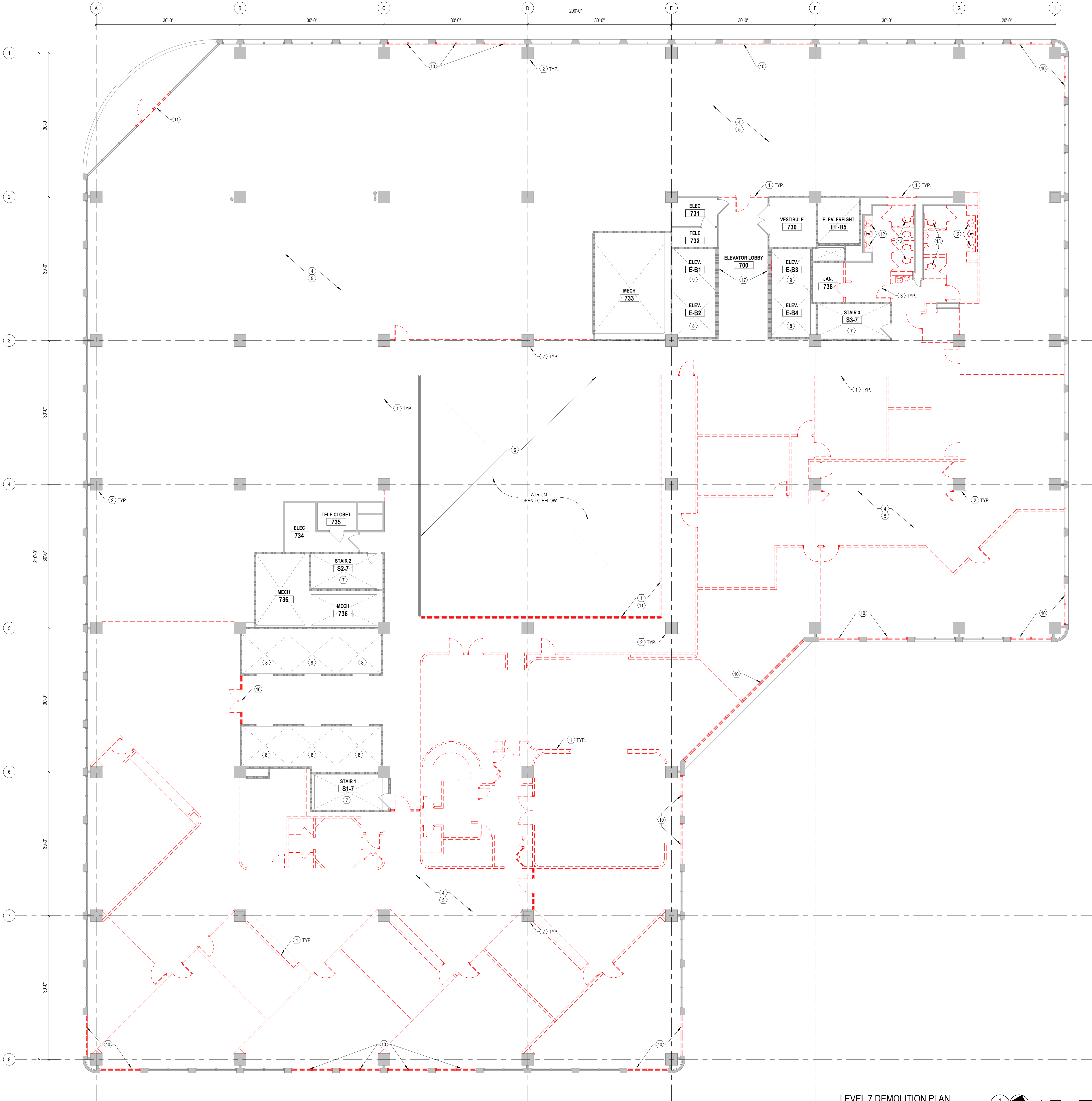
ISSUED	DATE
SD SUBMITTAL	03/06/2025

LEVEL 5 DEMOLITION PLAN

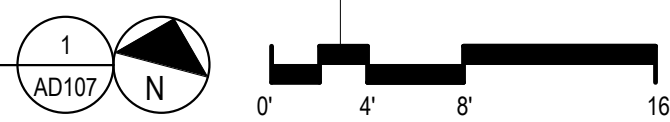
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET #4	

AD105





LEVEL 7 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.
- B. REMOVE EXISTING FLOORING MATERIAL & BASE IN AREAS SCHEDULED TO RECEIVE NEW FINISHES UNLESS OTHERWISE INDICATED. PATCH AND/OR REPAIR DAMAGED WALL MATERIALS TO PROVIDE SUITABLE SUBSTRATE FOR NEW BASE. REFER TO INTERIOR FINISH DRAWINGS. COORDINATE WITH NEW FLOORING MANUFACTURER PRIOR TO BEGINNING.

(X) DRAWING NOTES

- 1 WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, DEMOLISH ALL EXISTING WALLS AND WALL BASE. PATCH AND PREPARE FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING GYP. BD. AND METAL FURRING AROUND COLUMN.
- 3 WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, REMOVE ALL EXISTING DOORS AND FRAMES. PATCH AND PREPARE FOR NEW CONSTRUCTION.
- 4 REMOVE EXISTING FLOORING ACROSS THE ENTIRE FLOOR, U.N.O. PATCH AND PREPARE FOR NEW CONSTRUCTION.
- 5 REMOVE EXISTING CEILING ACROSS THE ENTIRE FLOOR, U.N.O. PATCH AND PREPARE FOR NEW CONSTRUCTION.
- 6 EXISTING ATRIUM AREA - SIDE WALL FINISHES AND SOFFIT FINISHES TO REMAIN.
- 7 EXISTING STAIRS AND RAILINGS TO REMAIN.
- 8 EXISTING ELEVATORS TO REMAIN.
- 9 EXISTING ELEVATORS TO BE REPROGRAMMED FOR NEW STOPS. SHAFTWAY AND CAB TO REMAIN. COORDINATE WITH NEW WORK.
- 10 REMOVE EXISTING ALUMINUM GLAZING SYSTEM.
- 11 REMOVE PORTION OF EXISTING ALUMINUM GLAZING SYSTEM - COORDINATE WITH NEW WORK.
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- 14 REMOVE EXISTING POLE & GLASS SCREEN.
- 15 REMOVE EXISTING SHOWERS & PARTITION WALLS.
- 16 PATCH AND REPAIR EXISTING FLOOR. POLISH AND BRING EXISTING FLOOR TO LIKE NEW QUALITY.
- 17 REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
- 18 EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND

- | | |
|--|--------------------------------|
| | AREA NOT IN SCOPE |
| | EXISTING WALL TO REMAIN |
| | EXISTING 1-HOUR WALL TO REMAIN |
| | EXISTING 2-HOUR WALL TO REMAIN |
| | EXISTING ITEM TO REMAIN |
| | EXISTING WALL TO BE REMOVED |
| | EXISTING ITEM TO BE REMOVED |

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE
LEVEL 7
DEMOLITION PLAN

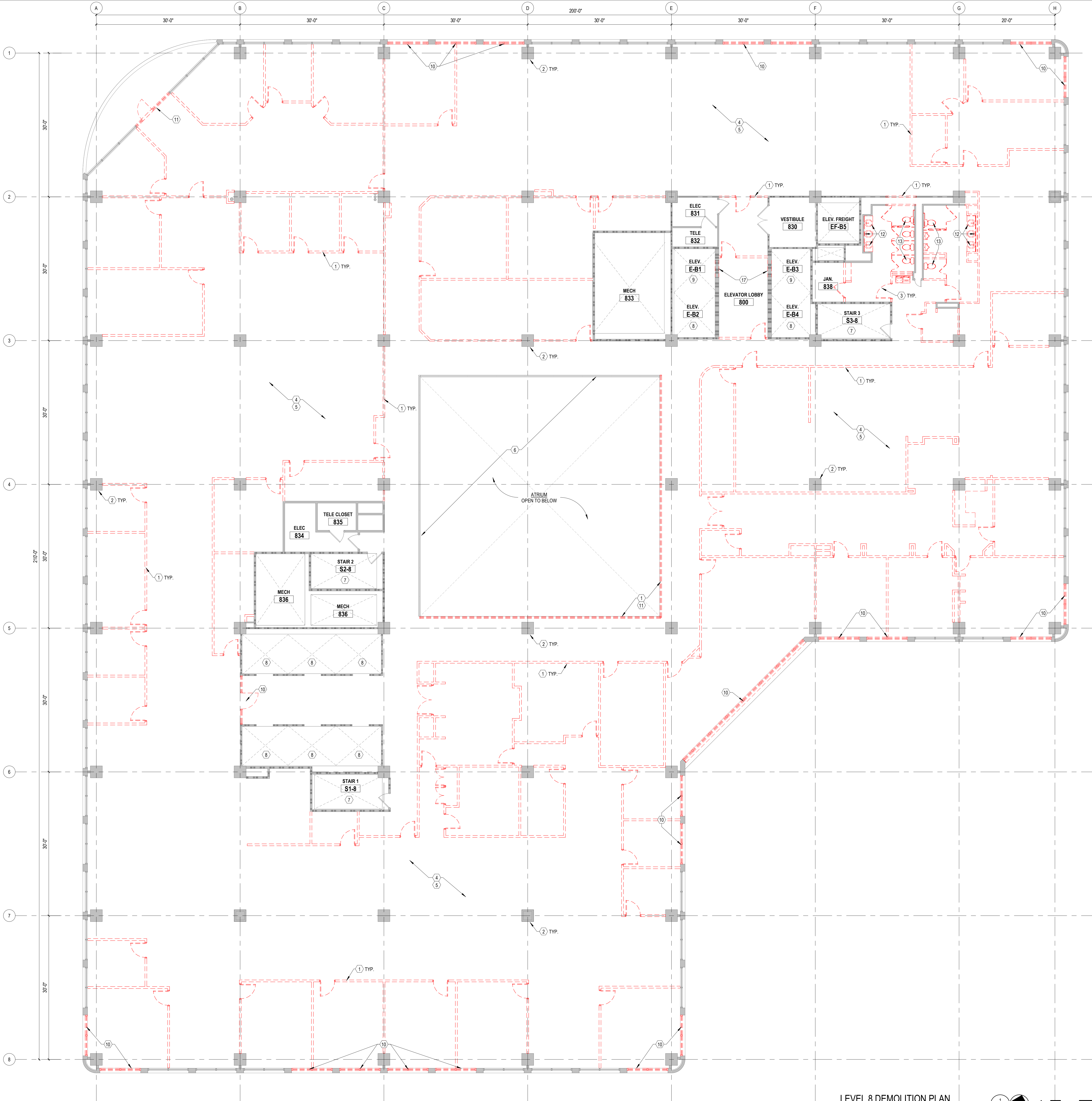
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025

AD107

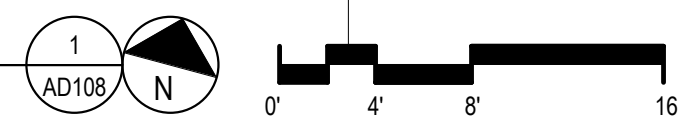


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LEVEL 8 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.
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(X) DRAWING NOTES

- 1 WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, DEMOLISH ALL EXISTING WALLS AND WALL BASE. PATCH AND PREPARE FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING GYP. BD. AND METAL FURRING AROUND COLUMN.
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- 16 PATCH AND REPAIR EXISTING FLOOR. POLISH AND BRING EXISTING FLOOR TO LIKE NEW QUALITY.
- 17 REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
- 18 EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND

- AREA NOT IN SCOPE
- EXISTING WALL TO REMAIN
- EXISTING 1-HOUR WALL TO REMAIN
- EXISTING 2-HOUR WALL TO REMAIN
- EXISTING ITEM TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

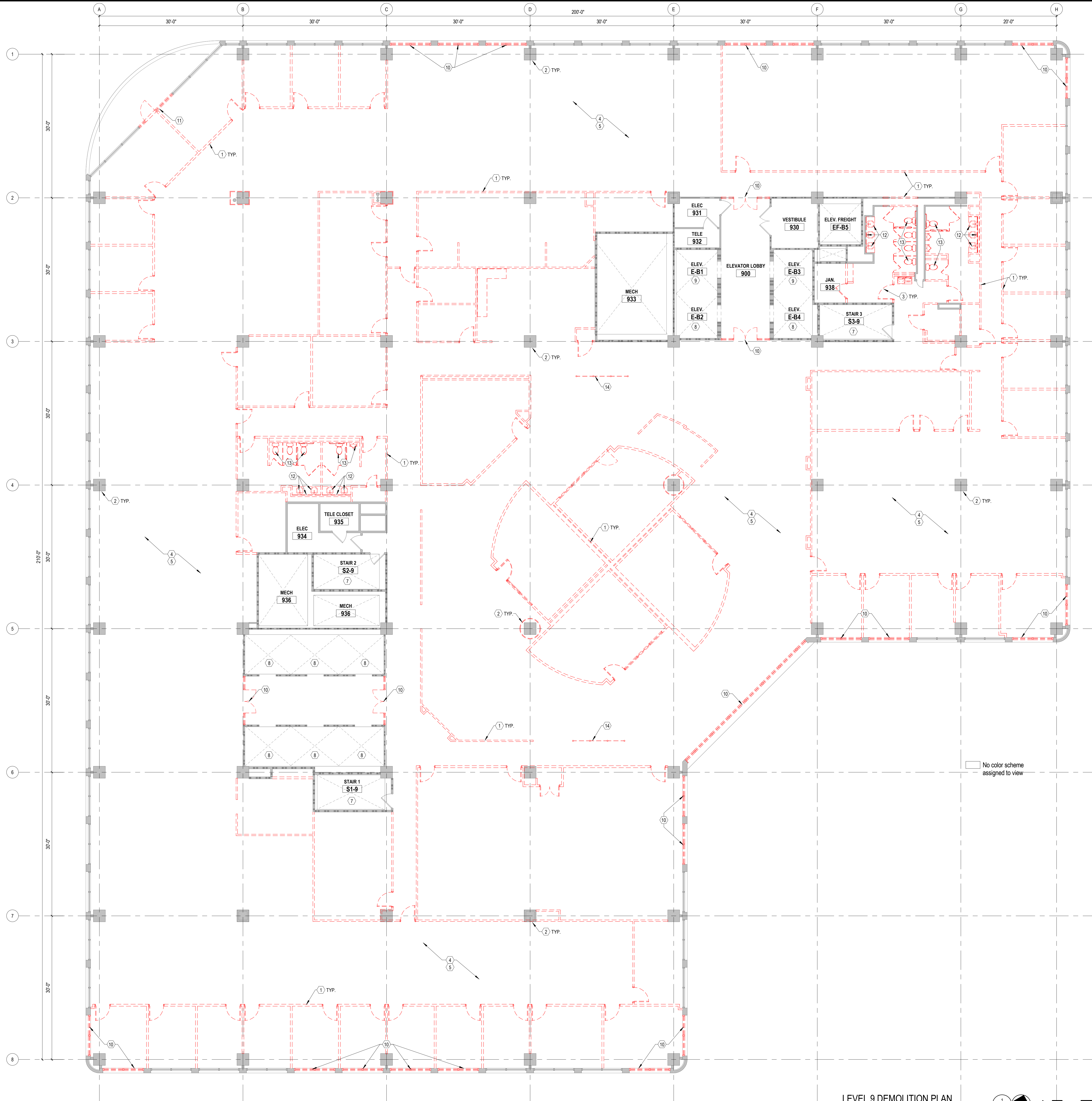
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CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE
LEVEL 8
DEMOLITION PLAN

SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET #	

AD108

LEVEL 9 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.
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(X) DRAWING NOTES

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- REMOVE EXISTING GYP. BD. AND METAL FURRING AROUND COLUMN.
- WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, REMOVE ALL EXISTING DOORS AND FRAMES. PATCH AND PREPARE FOR NEW CONSTRUCTION.
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- REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
- EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND

- | | |
|--|--------------------------------|
| | AREA NOT IN SCOPE |
| | EXISTING WALL TO REMAIN |
| | EXISTING 1-HOUR WALL TO REMAIN |
| | EXISTING 2-HOUR WALL TO REMAIN |
| | EXISTING ITEM TO REMAIN |
| | EXISTING WALL TO BE REMOVED |
| | EXISTING ITEM TO BE REMOVED |

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

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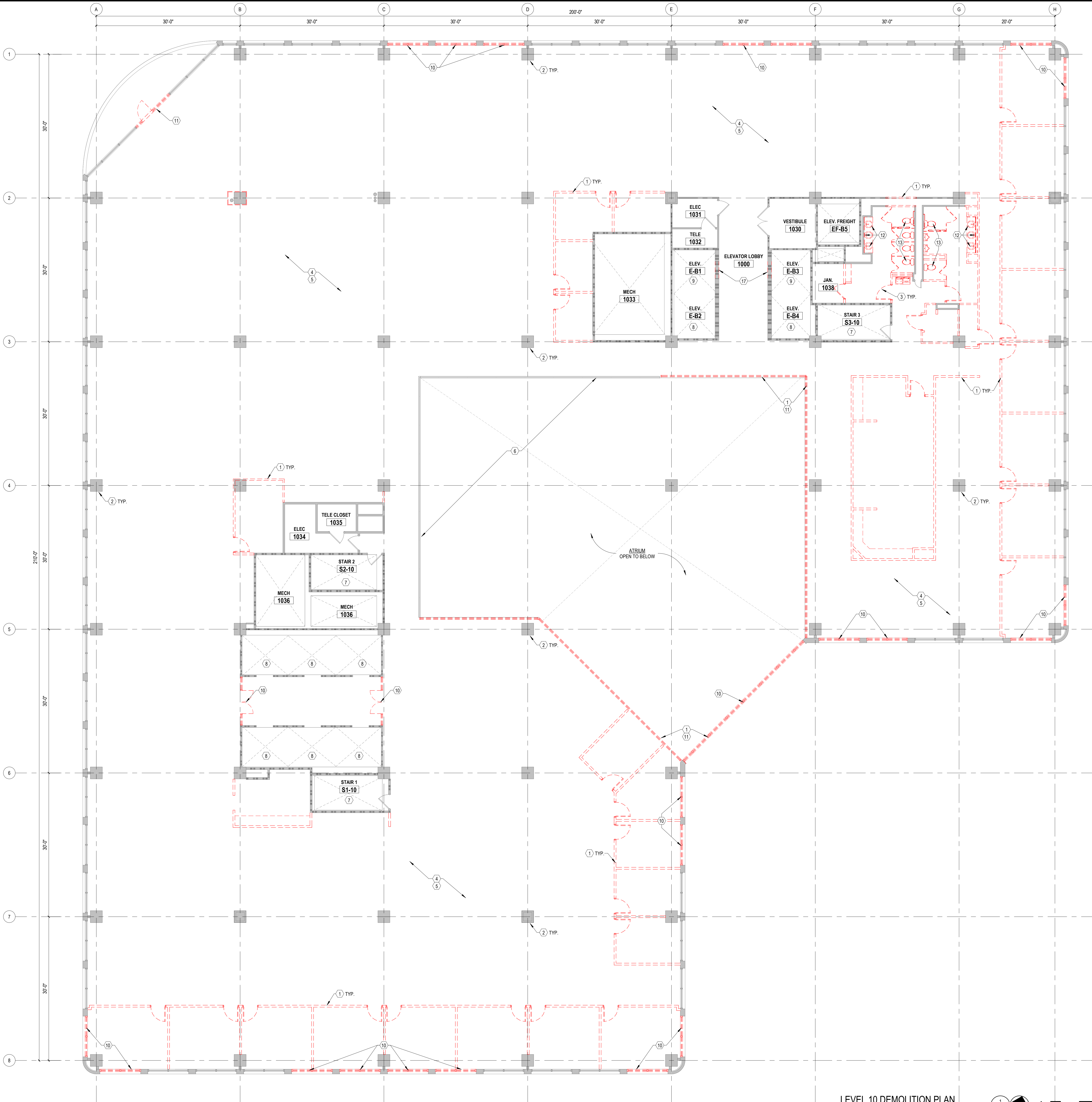
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CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

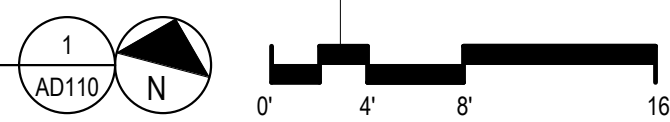
SHEET TITLE
LEVEL 9
DEMOLITION PLAN

SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2023

AD109



LEVEL 10 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.

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- (X) DRAWING NOTES**
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 - WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, REMOVE ALL EXISTING DOORS AND FRAMES. PATCH AND PREPARE FOR NEW CONSTRUCTION.
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 - EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND	
	AREA NOT IN SCOPE
	EXISTING WALL TO REMAIN
	EXISTING 1-HOUR WALL TO REMAIN
	EXISTING 2-HOUR WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED

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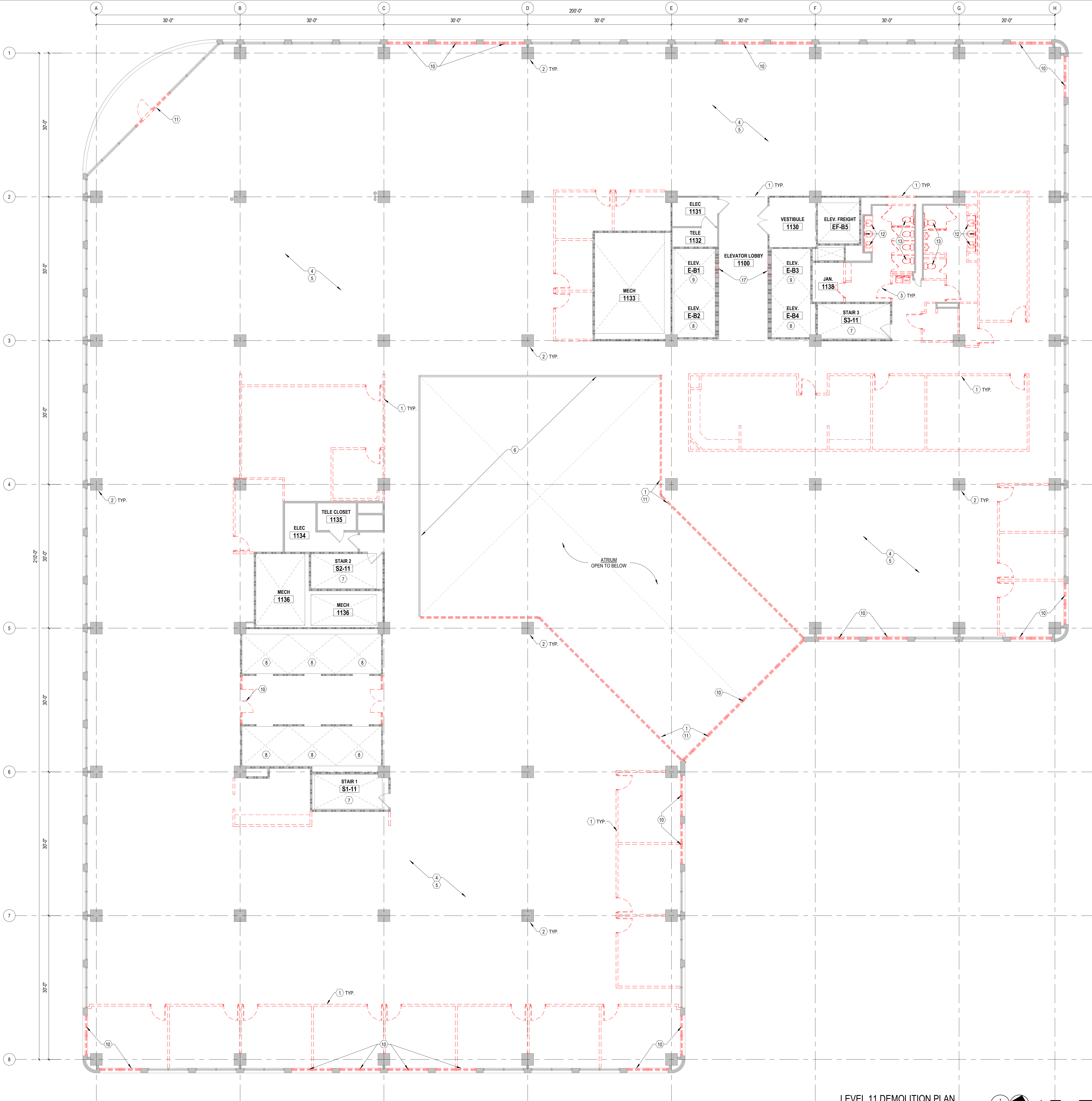
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ISSUED	DATE
SD SUBMITTAL	03/06/2025

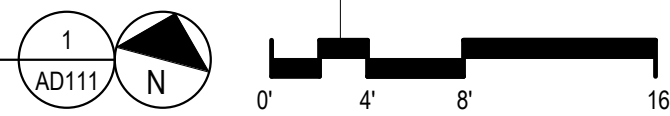
LEVEL 10 DEMOLITION PLAN

SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET #4	

AD110



LEVEL 11 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.
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(X) DRAWING NOTES

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- REMOVE EXISTING POLE & GLASS SCREEN.
- REMOVE EXISTING SHOWERS & PARTITION WALLS.
- PATCH AND REPAIR EXISTING FLOOR. POLISH AND BRING EXISTING FLOOR TO LIKE NEW QUALITY.
- REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
- EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND

- | | |
|--|--------------------------------|
| | AREA NOT IN SCOPE |
| | EXISTING WALL TO REMAIN |
| | EXISTING 1-HOUR WALL TO REMAIN |
| | EXISTING 2-HOUR WALL TO REMAIN |
| | EXISTING ITEM TO REMAIN |
| | EXISTING WALL TO BE REMOVED |
| | EXISTING ITEM TO BE REMOVED |

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE
LEVEL 11
DEMOLITION PLAN

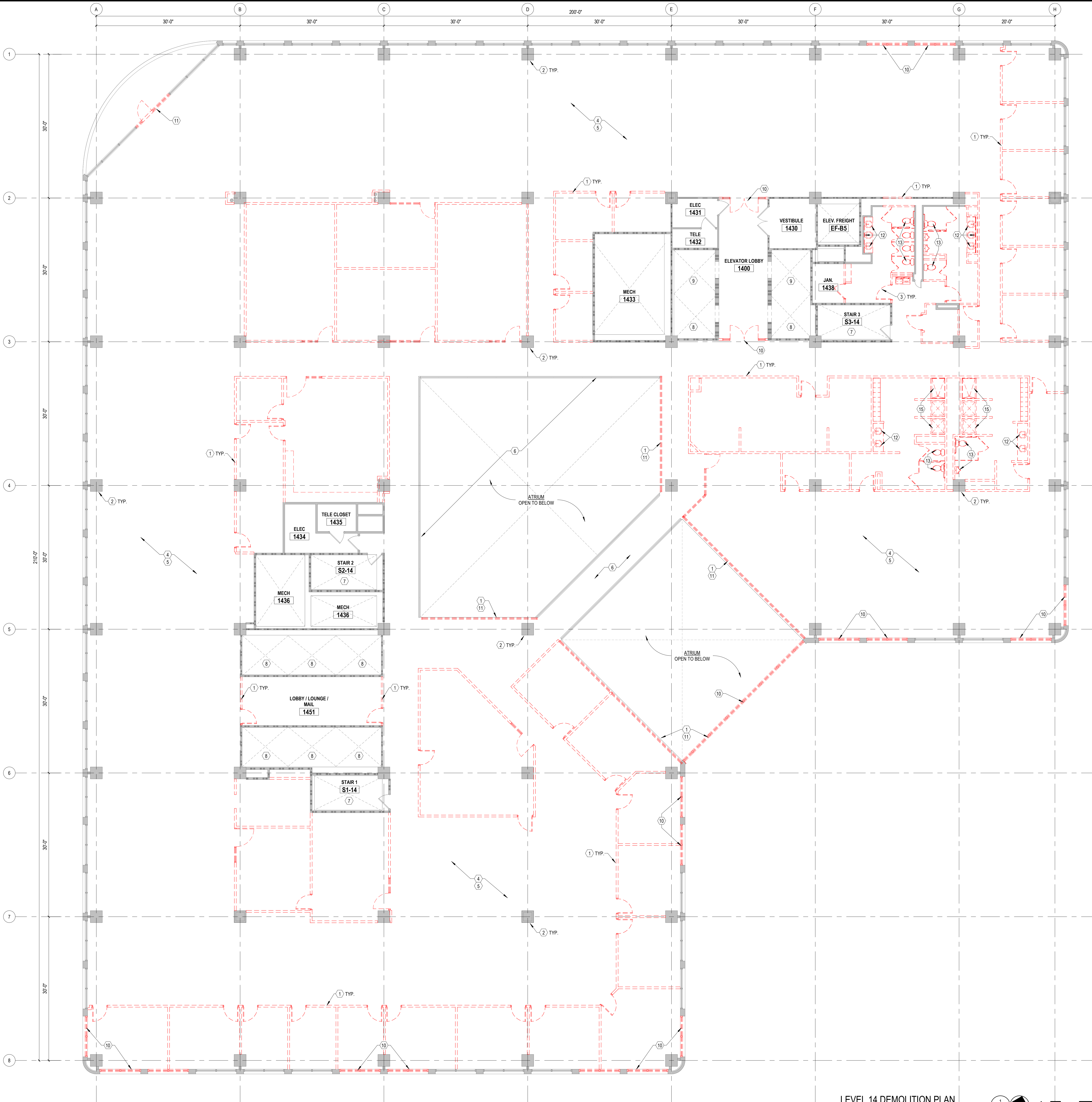
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025

AD111

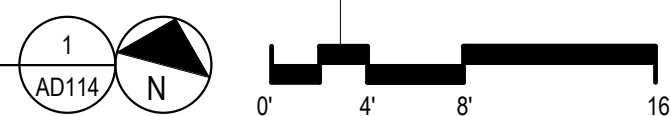


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LEVEL 14 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

A. WHERE EXISTING EQUIPMENT, PIPING, DUCTS, & SIMILAR ITEMS ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE COMPLETE AFTER REMOVAL, INCLUDING BUT NOT LIMITED TO, ANCHORS, HANGERS, FOUNDATIONS & ACCESSORIES.

B. REMOVE EXISTING FLOORING MATERIAL & BASE IN AREAS SCHEDULED TO RECEIVE NEW FINISHES UNLESS OTHERWISE INDICATED. PATCH AND/OR REPAIR DAMAGED WALL MATERIALS TO PROVIDE SUITABLE SUBSTRATE FOR NEW BASE. REFER TO INTERIOR FINISH DRAWINGS. COORDINATE WITH NEW FLOORING MANUFACTURER PRIOR TO BEGINNING.

(X) DRAWING NOTES	
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2	REMOVE EXISTING GYP. BD. AND METAL FURRING AROUND COLUMN.
3	WHERE SHOWN ACCORDING TO THE DEMOLITION LEGEND, REMOVE ALL EXISTING DOORS AND FRAMES. PATCH AND PREPARE FOR NEW CONSTRUCTION.
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7	EXISTING STAIRS AND RAILINGS TO REMAIN.
8	EXISTING ELEVATORS TO REMAIN.
9	EXISTING ELEVATORS TO BE REPROGRAMMED FOR NEW STOPS. SHAFTWAY AND CAB TO REMAIN. COORDINATE WITH NEW WORK.
10	REMOVE EXISTING ALUMINUM GLAZING SYSTEM.
11	REMOVE PORTION OF EXISTING ALUMINUM GLAZING SYSTEM - COORDINATE WITH NEW WORK.
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13	REMOVE EXISTING TOILET FIXTURES, URINALS & PARTITION WALLS.
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16	PATCH AND REPAIR EXISTING FLOOR. POLISH AND BRING EXISTING FLOOR TO LIKE NEW QUALITY.
17	REMOVE PORTION OF EXISTING WALL TO PROVIDE ACCESS TO EXISTING ELEVATOR.
18	EXISTING ELEVATORS TO REMAIN. ADD ACCESS CONTROL FOR RESIDENTIAL LEVELS.

DEMOLITION LEGEND	
	AREA NOT IN SCOPE
	EXISTING WALL TO REMAIN
	EXISTING 1-HOUR WALL TO REMAIN
	EXISTING 2-HOUR WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED

555 CARR ST., CINCINNATI, OH 45202 | P 513.721-4888 | F 513.721-5611

ACABAY INC.
201 E 4TH ST., CINCINNATI, OH 45202
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

ATRIUM 1 RESIDENCES - LEVELS 5-14

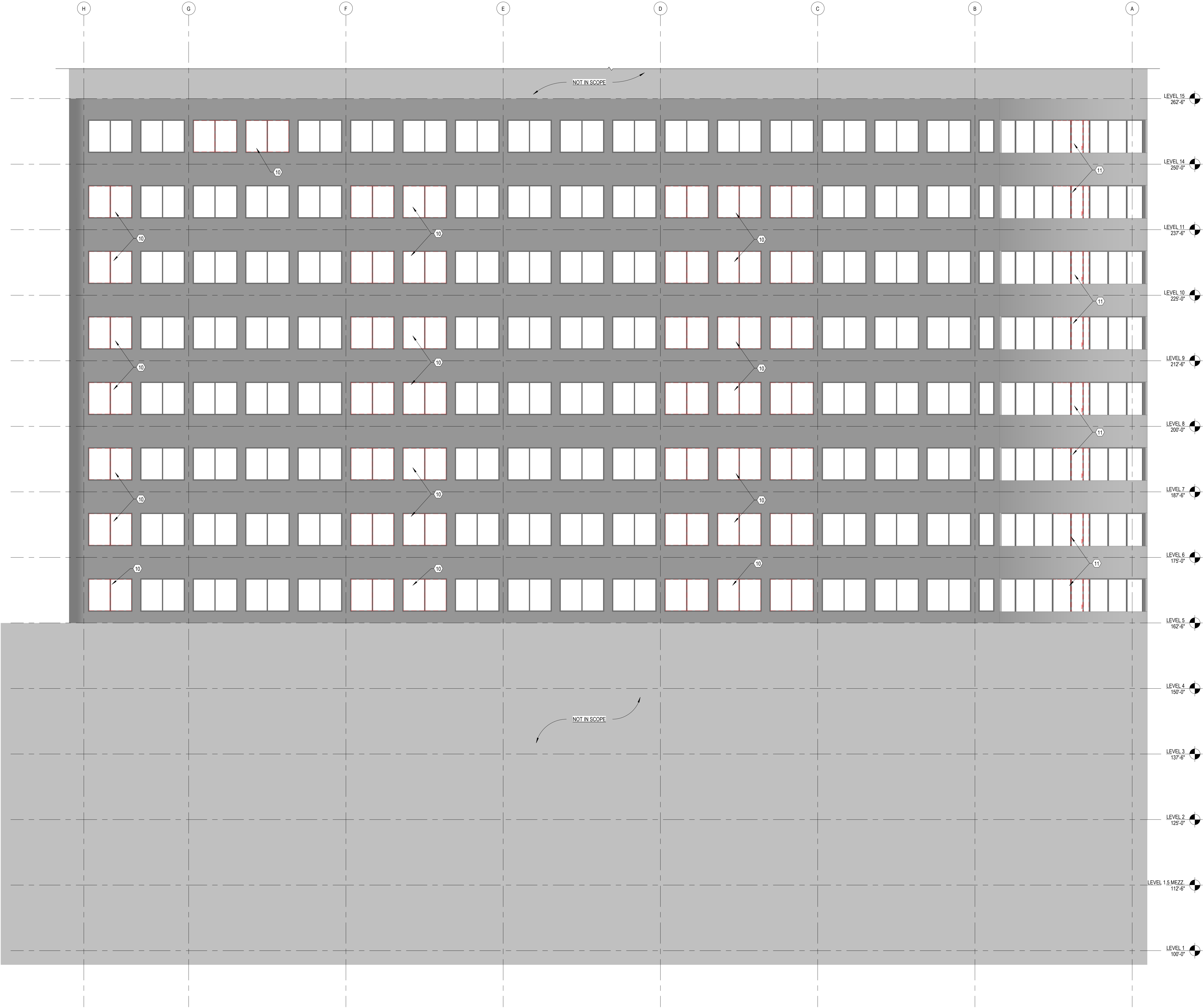
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ISSUED	DATE
SD SUBMITTAL	03/06/2025

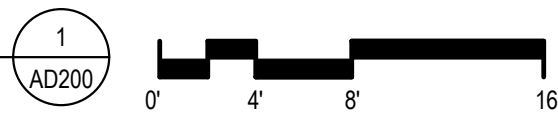
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LEVEL 14 DEMOLITION PLAN	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET #	

AD114

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DEMOLITION ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



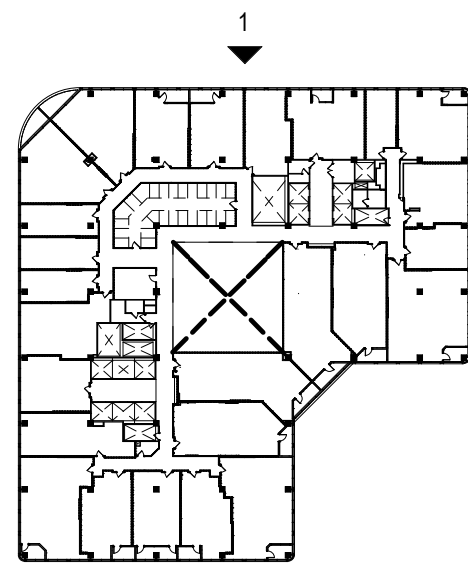
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KEY PLAN



DEMOLITION LEGEND

- AREA NOT IN SCOPE
- EXISTING WALL TO REMAIN
- EXISTING 1-HOUR WALL TO REMAIN
- EXISTING 2-HOUR WALL TO REMAIN
- EXISTING ITEM TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

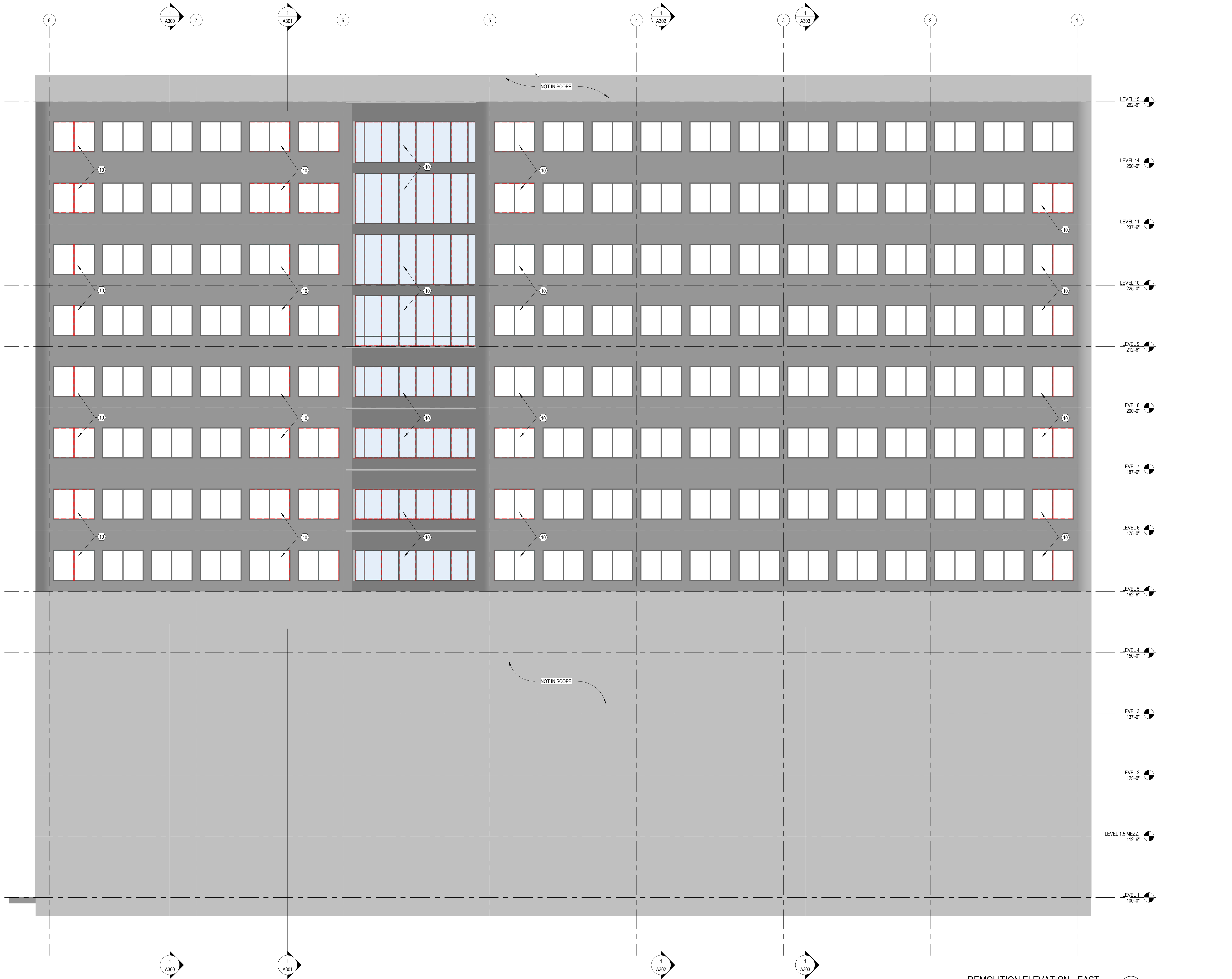
SHEET TITLE

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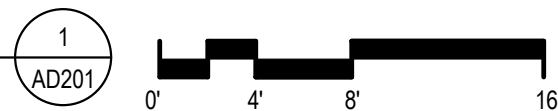
SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2023

AD200

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DEMOLITION ELEVATION - EAST
SCALE: 1/8" = 1'-0"



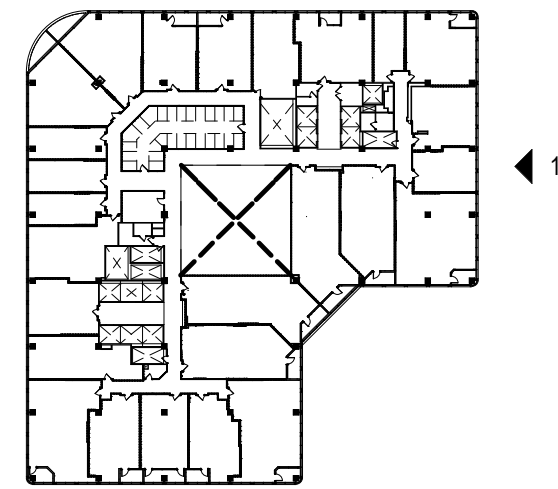
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KEY PLAN



DEMOLITION LEGEND

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- EXISTING 1-HOUR WALL TO REMAIN
- EXISTING 2-HOUR WALL TO REMAIN
- EXISTING ITEM TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

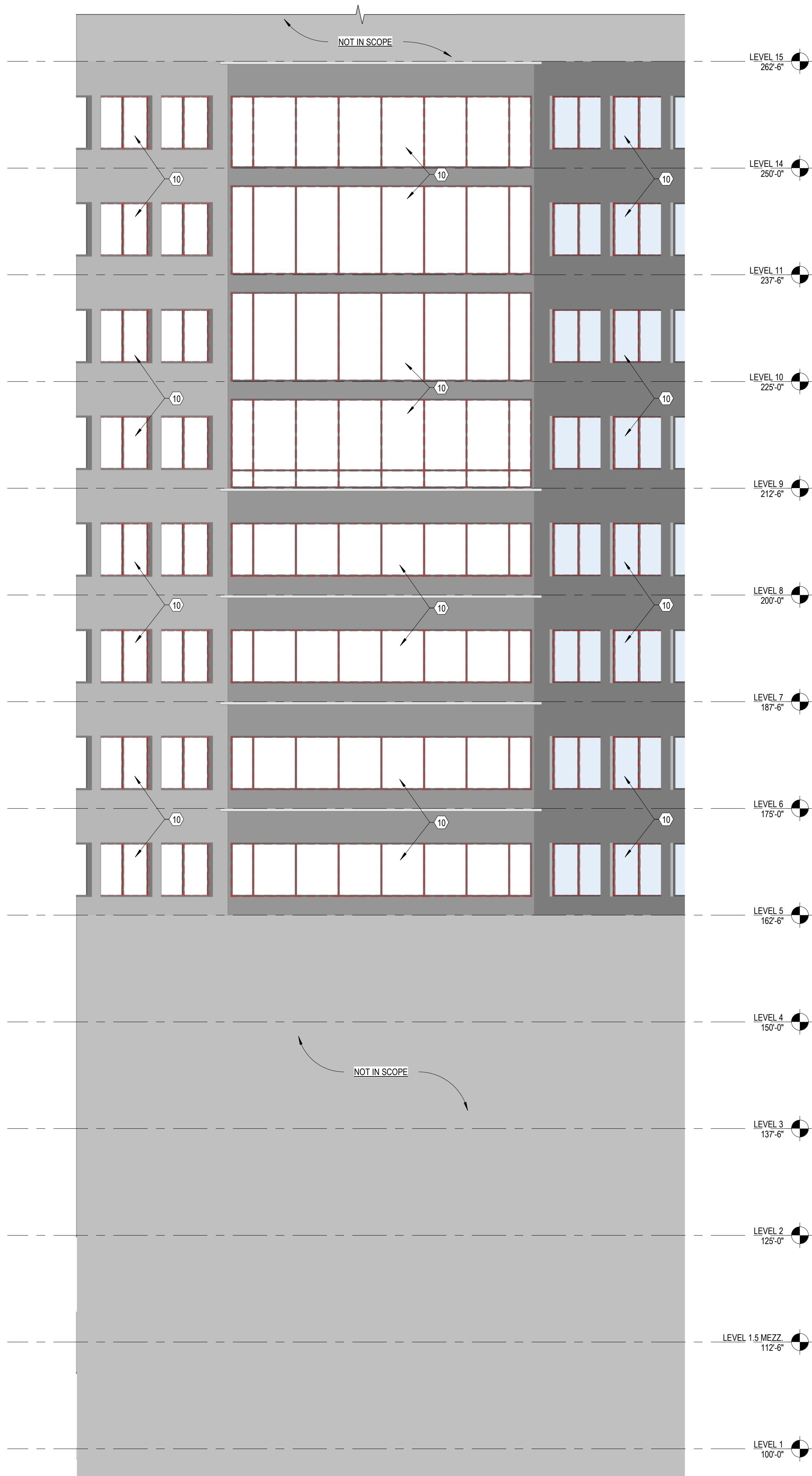
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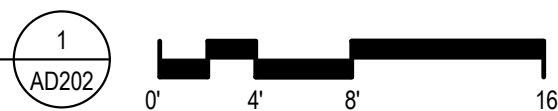
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30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2023

AD201

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DEMOLITION ELEVATION -
SOUTHEAST
SCALE: 1/8" = 1'-0"



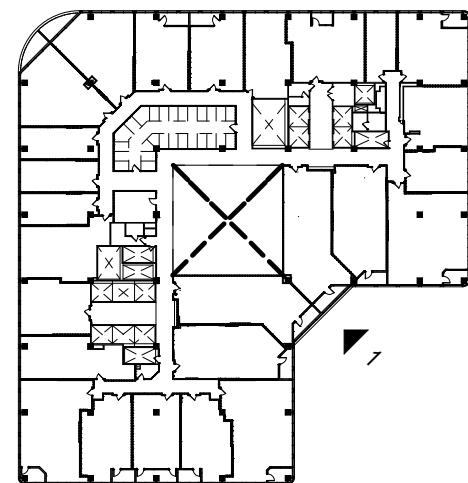
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KEY PLAN



DEMOLITION LEGEND

- | | |
|--|--------------------------------|
| | AREA NOT IN SCOPE |
| | EXISTING WALL TO REMAIN |
| | EXISTING 1-HOUR WALL TO REMAIN |
| | EXISTING 2-HOUR WALL TO REMAIN |
| | EXISTING ITEM TO REMAIN |
| | EXISTING WALL TO BE REMOVED |
| | EXISTING ITEM TO BE REMOVED |

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

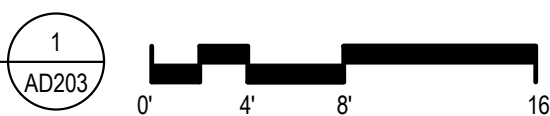
NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE	
DEMOLITION ELEVATION - SOUTHEAST	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2026
SHEET#	
AD202	



DEMOLITION ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



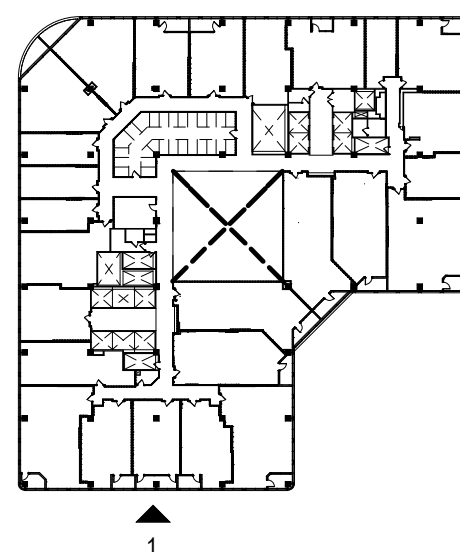
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DEMOLITION LEGEND

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ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

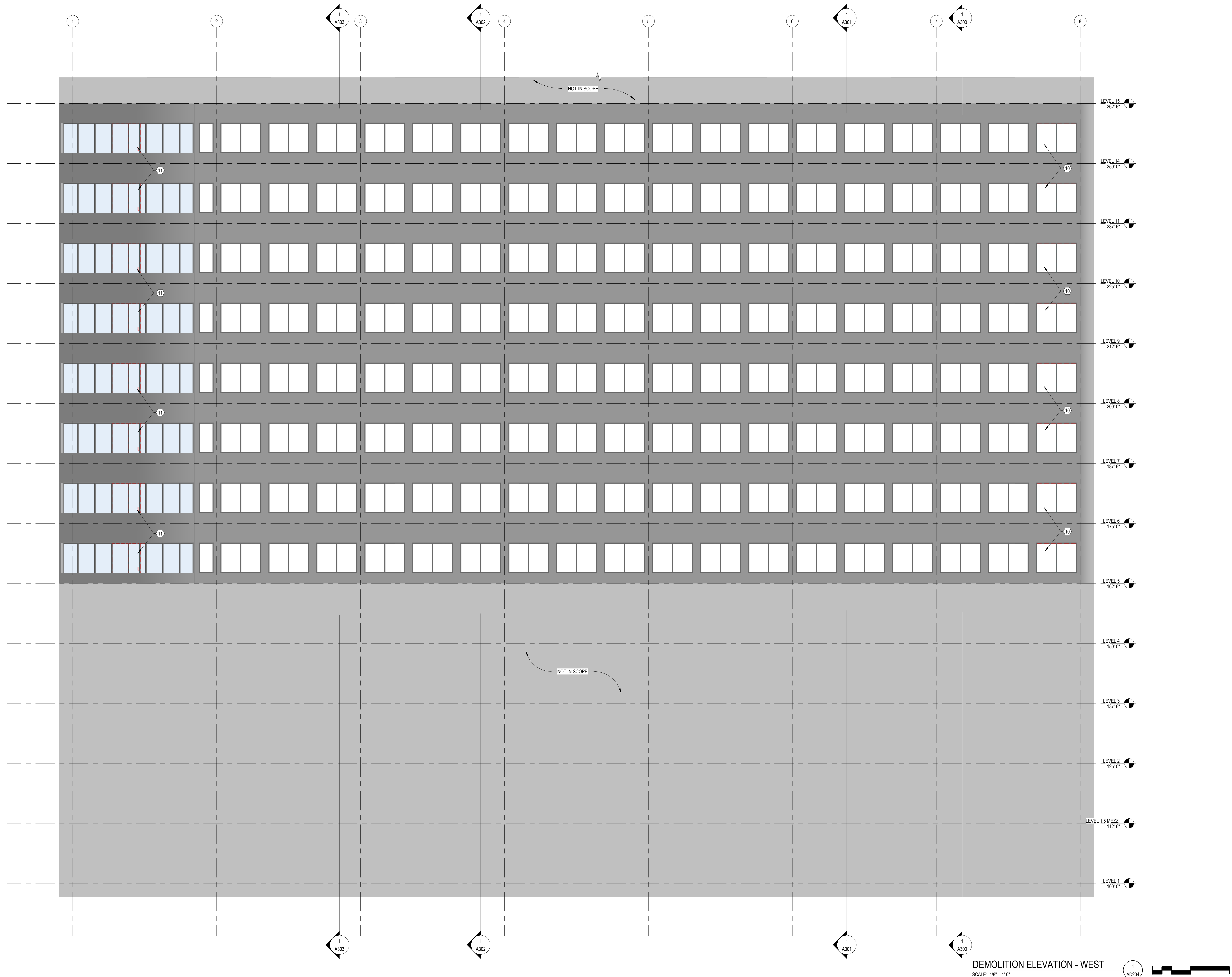
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ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE
DEMOLITION
ELEVATION - SOUTH

SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2023
SHEET #	

AD203



DEMOLITION ELEVATION - WEST
SCALE: 1/8" = 1'-0"

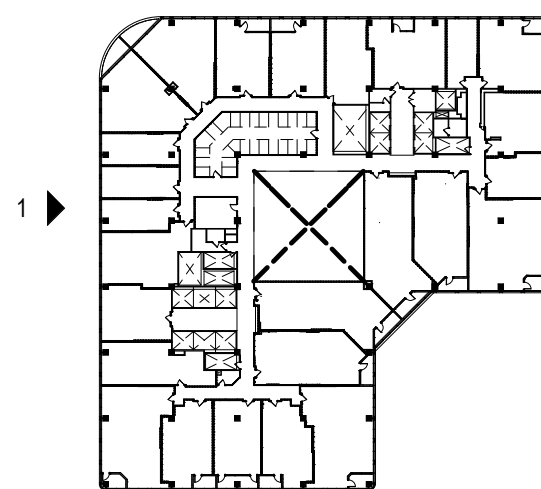
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KEY PLAN



DEMOLITION LEGEND

- AREA NOT IN SCOPE
- EXISTING WALL TO REMAIN
- EXISTING 1-HOUR WALL TO REMAIN
- EXISTING 2-HOUR WALL TO REMAIN
- EXISTING ITEM TO REMAIN
- EXISTING WALL TO BE REMOVED
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ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

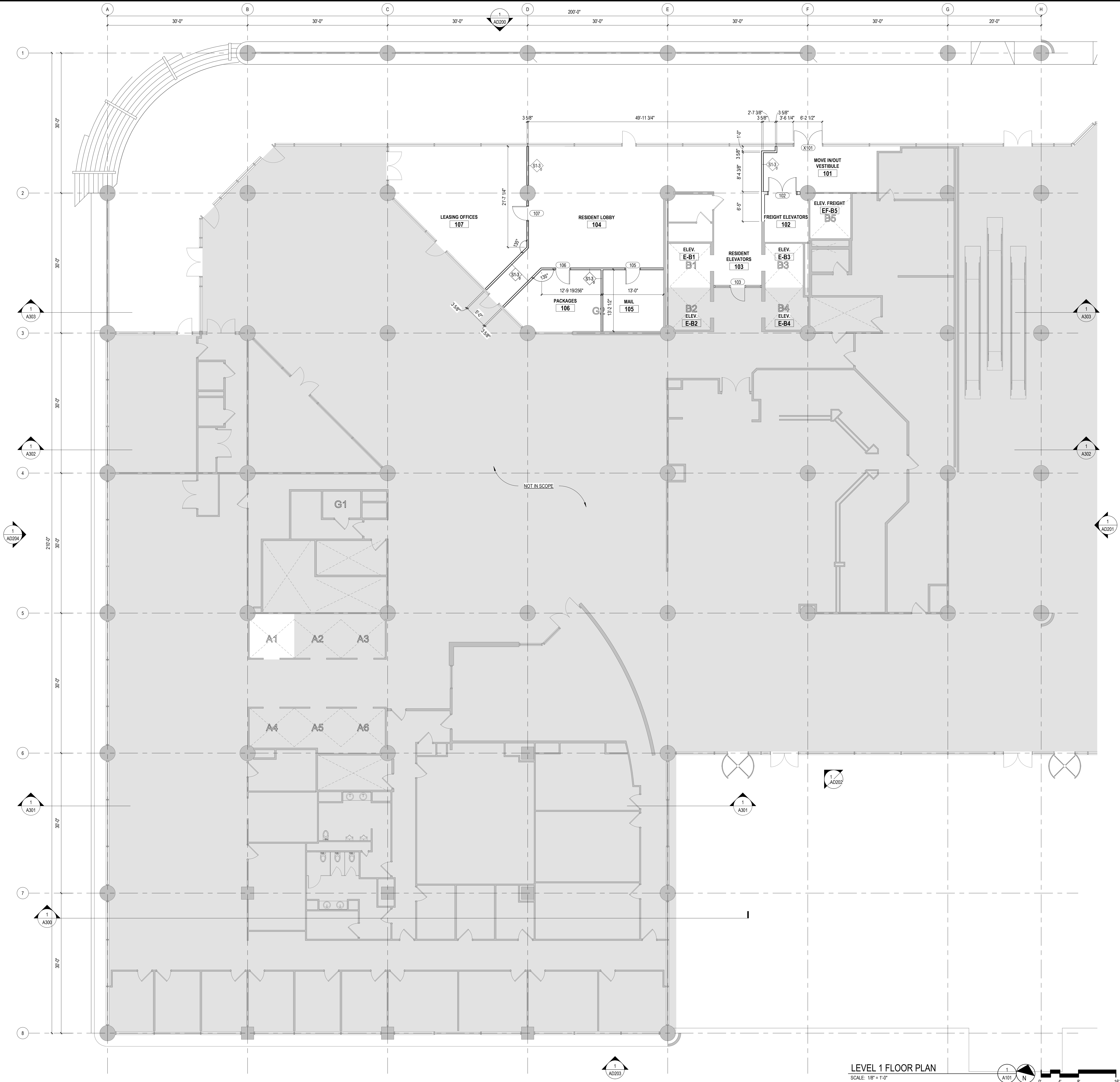
ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE
DEMOLITION
ELEVATION - WEST

SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2023

AD204





LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. INTERIOR FURNISHINGS SHOWN FOR REFERENCE ONLY. FINISH & FURNISHING SELECTIONS & LAYOUT BY OTHERS. REFERENCE SEPARATE DESIGN PACKAGE.
- C. PROVIDE OPENINGS IN WALLS ABOVE CEILING AS REQUIRED FOR DUCTWORK, CABLE TRAYS, PIPING, ETC. REFER TO MEP DRAWINGS FOR LOCATIONS. SEAL WALLS TIGHT TO ALL PENETRATING UTILITIES.
- D. DO NOT FIELD-CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- E. REFER TO SHEET **A700** FOR PARTITION TYPES.
- F. REFER TO ENLARGED UNIT PLANS ON **A800** SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

DRAWING NOTES

- 1 PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.

elevator
DESIGN LLC

555 CARR ST., CINCINNATI, OH 45202 | P 513.721-4888 | F 513.721-5601

ACABAY
Proven Office Space

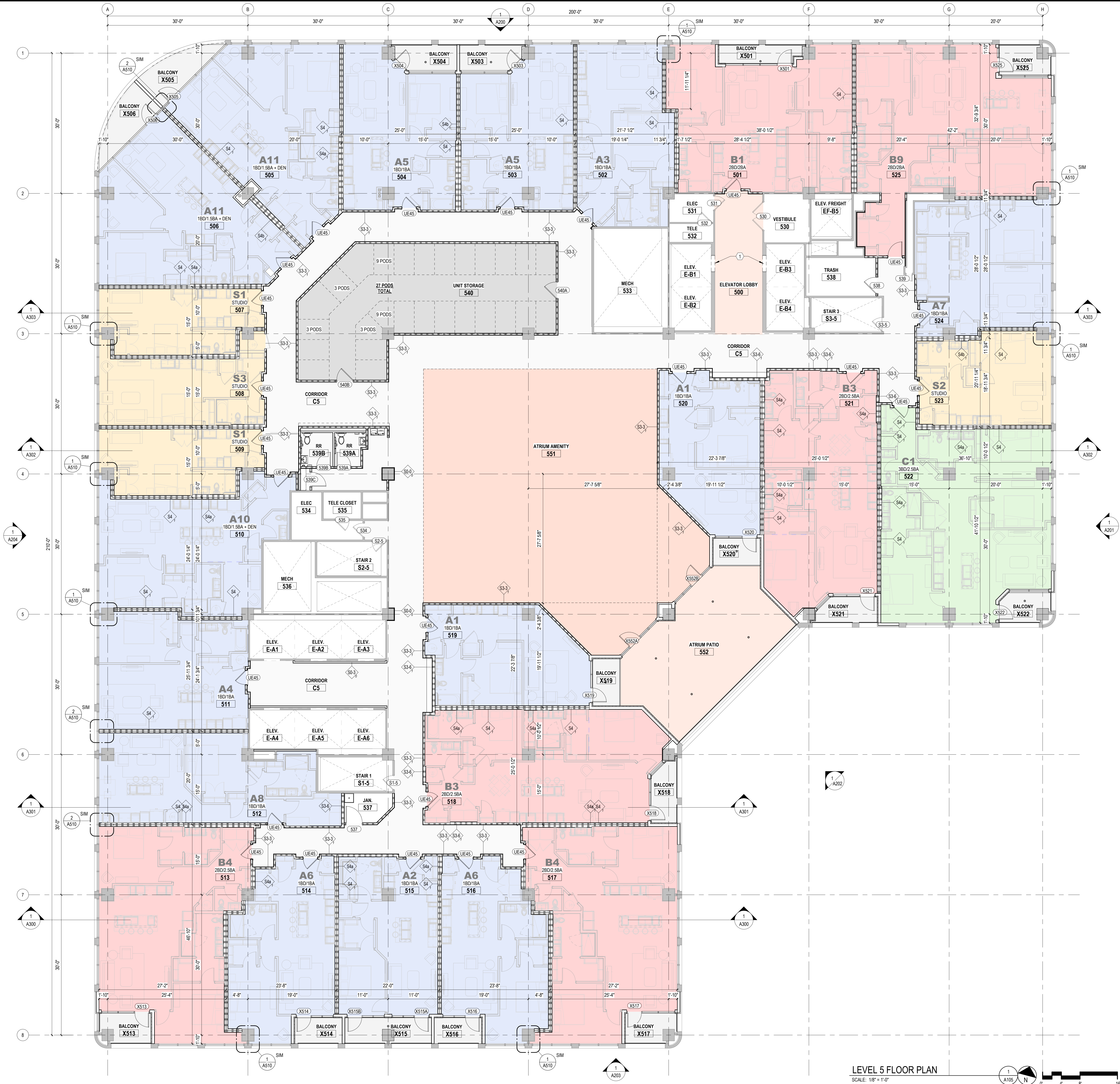
ATRIUM 1 RESIDENCES - LEVELS 5-14
201 E 4TH ST., CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
LEVEL 1 FLOOR PLAN	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY CS	DATE 03/06/2025
SHEET # A101	

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LEVEL 5 FLOOR PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. INTERIOR FURNISHINGS SHOWN FOR REFERENCE ONLY. FINISH & FURNISHING SELECTIONS & LAYOUT BY OTHERS. REFERENCE SEPARATE DESIGN PACKAGE.
- C. PROVIDE OPENINGS IN WALLS ABOVE CEILING AS REQUIRED FOR DUCTWORK, CABLE TRAYS, PIPING, ETC. REFER TO MEP DRAWINGS FOR LOCATIONS. SEAL WALLS TIGHT TO ALL PENETRATING UTILITIES. DO NOT FIELD CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- D. REFER TO SHEET A700 FOR PARTITION TYPES.
- E. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

DRAWING NOTES

1. PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.

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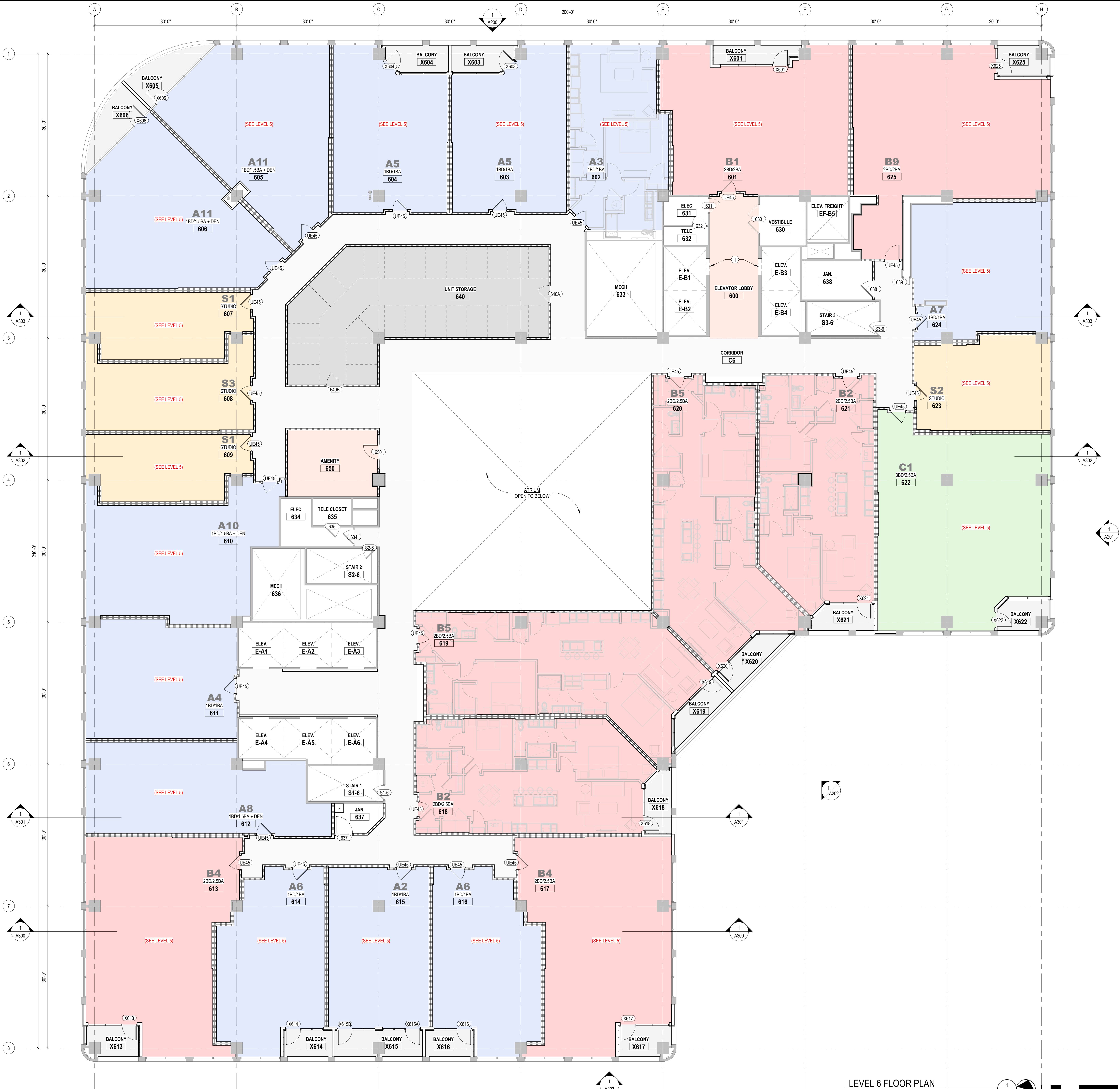
ATRIUM 1 RESIDENCES - LEVELS 5-14

NOT FOR CONSTRUCTION

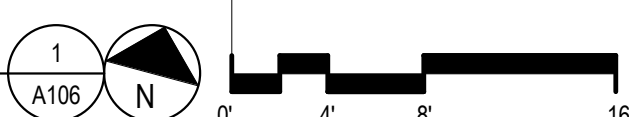
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
LEVEL 5 FLOOR PLAN	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2025
SHEET	

A105



LEVEL 6 FLOOR PLAN
SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. INTERIOR FURNISHINGS SHOWN FOR REFERENCE ONLY. FINISH & FURNISHING SELECTIONS & LAYOUT BY OTHERS. REFERENCE SEPARATE DESIGN PACKAGE.
- C. PROVIDE OPENINGS IN WALLS ABOVE CEILING AS REQUIRED FOR DUCTWORK, CABLE TRAYS, PIPING, ETC. REFER TO MEP DRAWINGS FOR LOCATIONS. SEAL WALLS TIGHT TO ALL PENETRATING UTILITIES. DO NOT FIELD CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- D. REFER TO SHEET A700 FOR PARTITION TYPES.
- E. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

DRAWING NOTES

1. PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.

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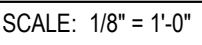
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ATRIUM 1 RESIDENCES - LEVELS 5-14

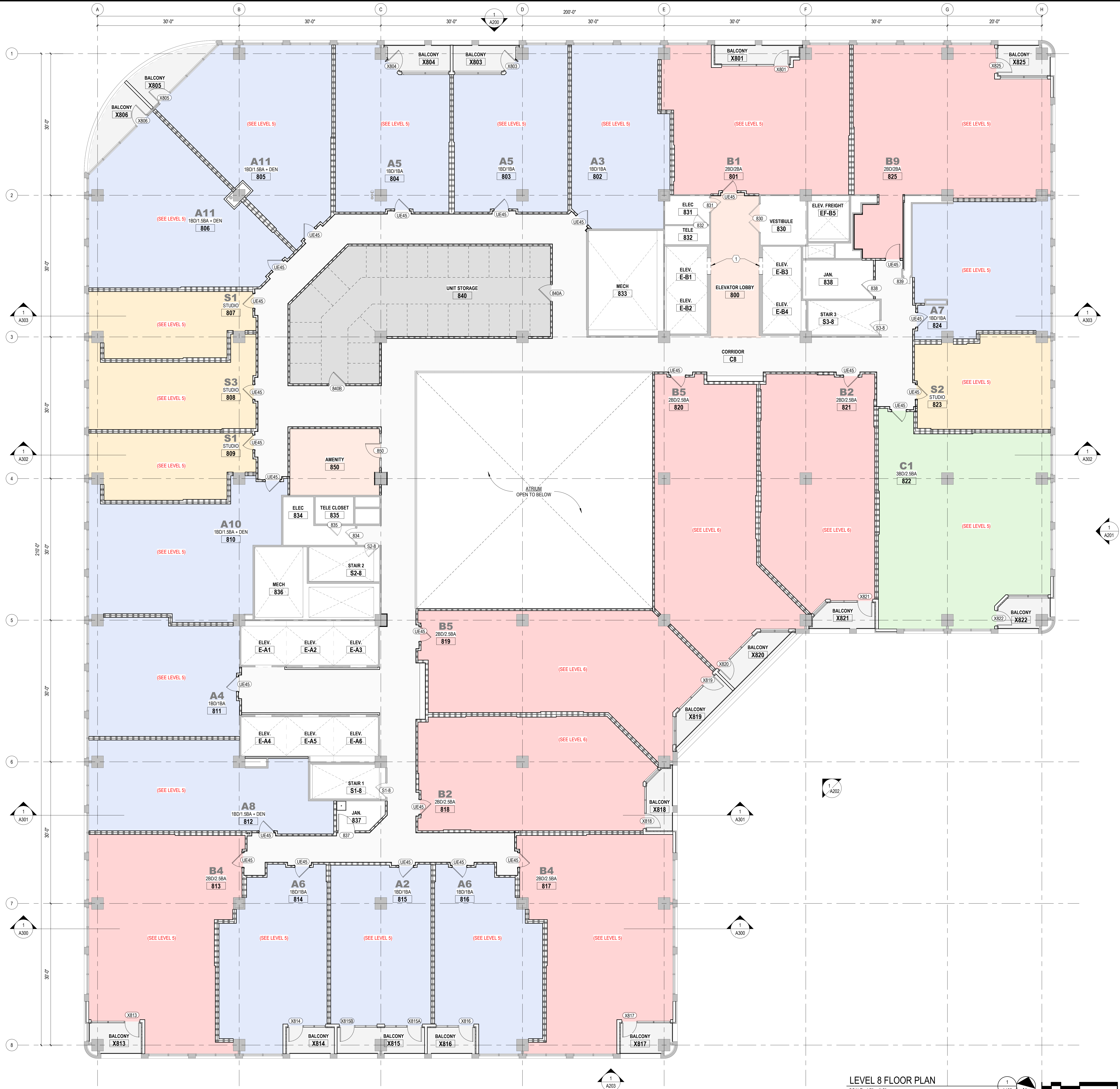
NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
LEVEL 6 FLOOR PLAN	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY JTO	DATE 03/06/2025
SHEET # A106	



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LEVEL 8 FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. INTERIOR FURNISHINGS SHOWN FOR REFERENCE ONLY. FINISH & FURNISHING SELECTIONS & LAYOUT BY OTHERS. REFERENCE SEPARATE DESIGN PACKAGE.
- C. PROVIDE OPENINGS IN WALLS ABOVE CEILING AS REQUIRED FOR DUCTWORK, CABLE TRAYS, PIPING, ETC. REFER TO MEP DRAWINGS FOR LOCATIONS. SEAL WALLS TIGHT TO ALL PENETRATING UTILITIES. DO NOT FIELD CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- D. REFER TO SHEET A700 FOR PARTITION TYPES.
- E. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

(X) DRAWING NOTES

1. PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.



LEVEL 9 FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. INTERIOR FURNISHINGS SHOWN FOR REFERENCE ONLY. FINISH & FURNISHING SELECTIONS & LAYOUT BY OTHERS. REFERENCE SEPARATE DESIGN PACKAGE.
- C. PROVIDE OPENINGS IN WALLS ABOVE CEILING AS REQUIRED FOR DUCTWORK, CABLE TRAYS, PIPING, ETC. REFER TO MEP DRAWINGS FOR LOCATIONS. SEAL WALLS TIGHT TO ALL PENETRATING UTILITIES.
- D. DO NOT FIELD-CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- E. REFER TO SHEET A700 FOR PARTITION TYPES.
- F. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

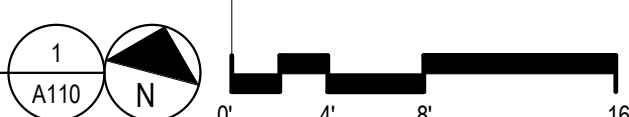
(X) DRAWING NOTES

1. PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.



LEVEL 10 FLOOR PLAN

SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. INTERIOR FURNISHINGS SHOWN FOR REFERENCE ONLY. FINISH & FURNISHING SELECTIONS & LAYOUT BY OTHERS. REFERENCE SEPARATE DESIGN PACKAGE.
- C. PROVIDE OPENINGS IN WALLS ABOVE CEILING AS REQUIRED FOR DUCTWORK, CABLE TRAYS, PIPING, ETC. REFER TO MEP DRAWINGS FOR LOCATIONS. SEAL WALLS TIGHT TO ALL PENETRATING UTILITIES. DO NOT FIELD-CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- D. REFER TO SHEET A700 FOR PARTITION TYPES.
- E. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

DRAWING NOTES

1. PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.



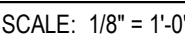
ATRIUM 1 RESIDENCES - LEVELS 5-14
201 E 4TH ST, CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
LEVEL 10 FLOOR PLAN	
SHEET SIZE	COMM. NO.
30" x 42"	E-10854
DRAWN BY	DATE
JTO	03/06/2025
SHEET #	

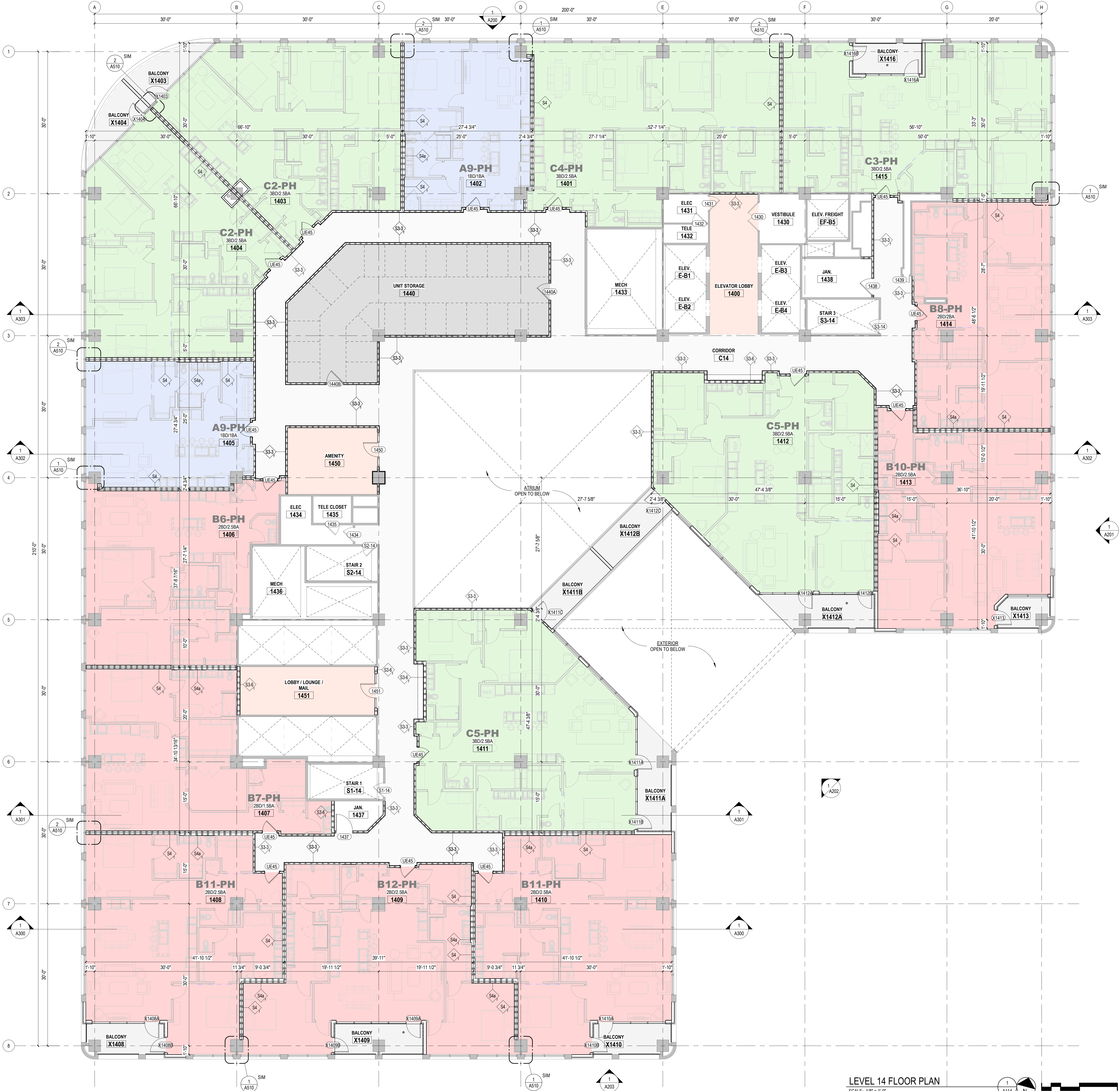
A110



F. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

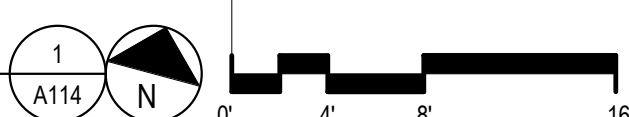
1 PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVEL 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.

A111



LEVEL 14 FLOOR PLAN

SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
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- D. DO NOT FIELD CUT STRUCTURAL LOAD-BEARING WALL METAL FRAMING. SEE STRUCTURAL.
- E. REFER TO SHEET A700 FOR PARTITION TYPES.
- F. REFER TO ENLARGED UNIT PLANS ON A800 SERIES FOR APPLICABLE DWELLING UNIT PARTITION TYPES, ETC.

KEYNOTES

DRAWING NOTES

1. PROVIDE 42" X 84" OPENING FOR ACCESS TO EXISTING ELEVATOR ON LEVELS 5, 6, 7, 8, 10 & 11. REMOVE EXISTING ACCESS ON LEVEL 15 AND ABOVE.



ATRIUM 1 RESIDENCES - LEVELS 5-14
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ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE
LEVEL 14 FLOOR PLAN

SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY JTO	DATE 03/06/2025
SHEET #	

A114

3/20/2024 4:05 PM



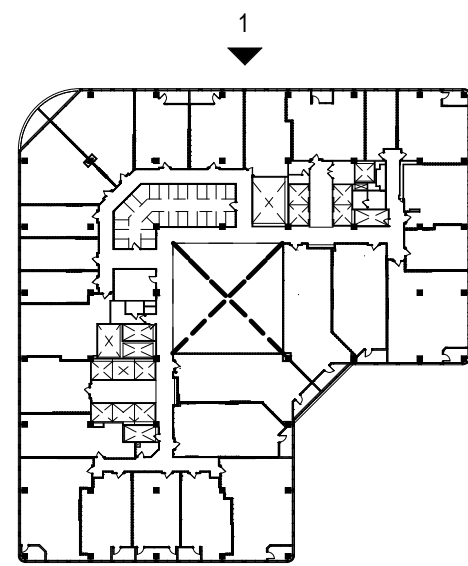
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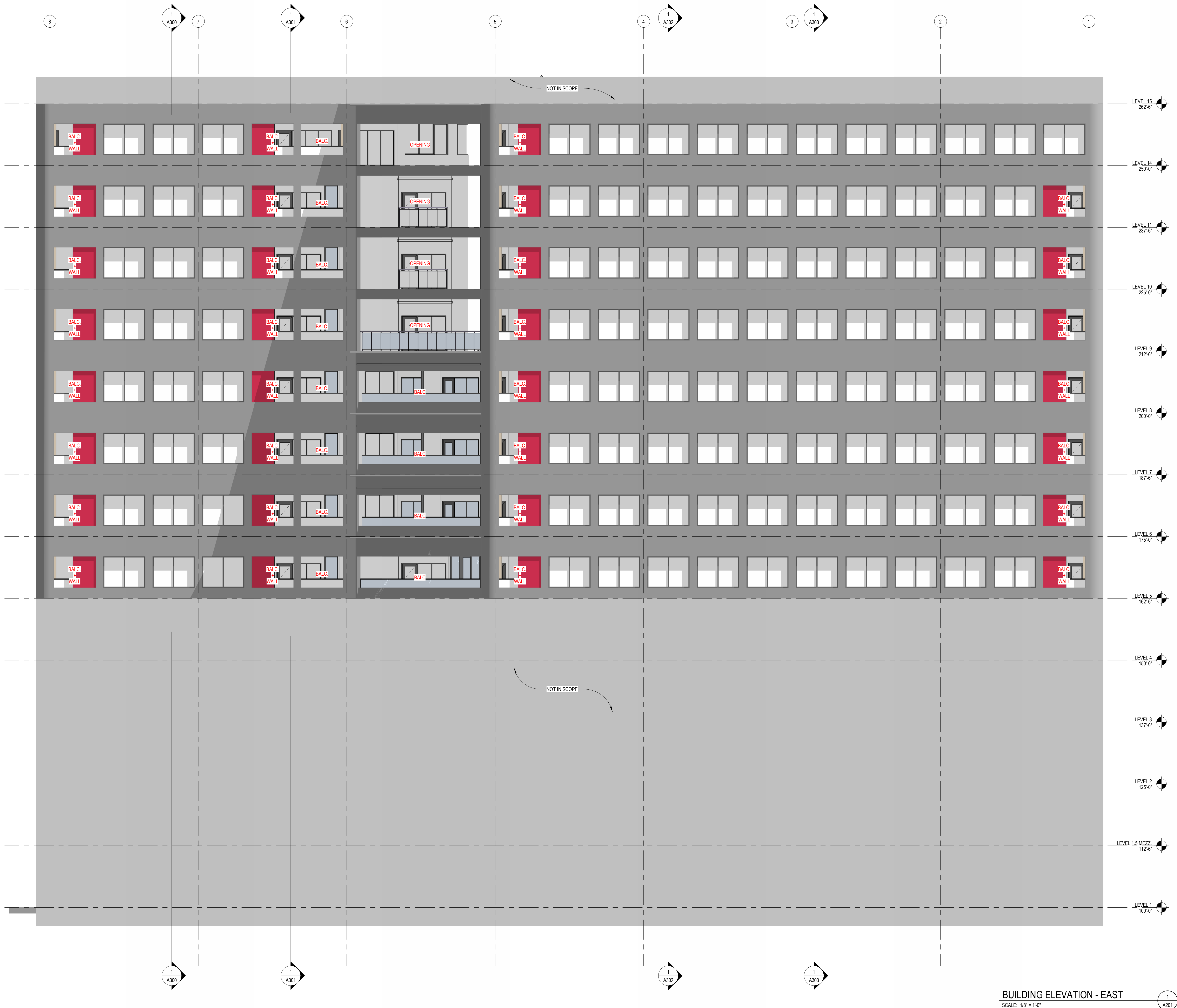
A. SEE ARCHITECTURAL FLOOR PLANS AND OPENING SCHEDULES FOR ALL OPENING SIZES, TYPES, MATERIALS, GLAZING AND DETAILS.

KEYNOTES

LEGEND

KEY PLAN





BUILDING ELEVATION - EAST
SCALE: 1/8" = 1'-0"

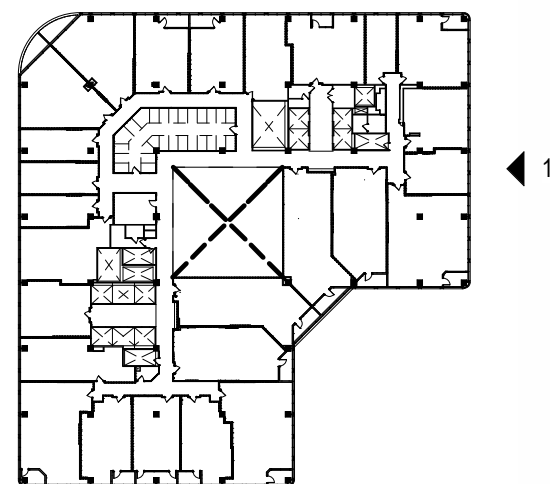
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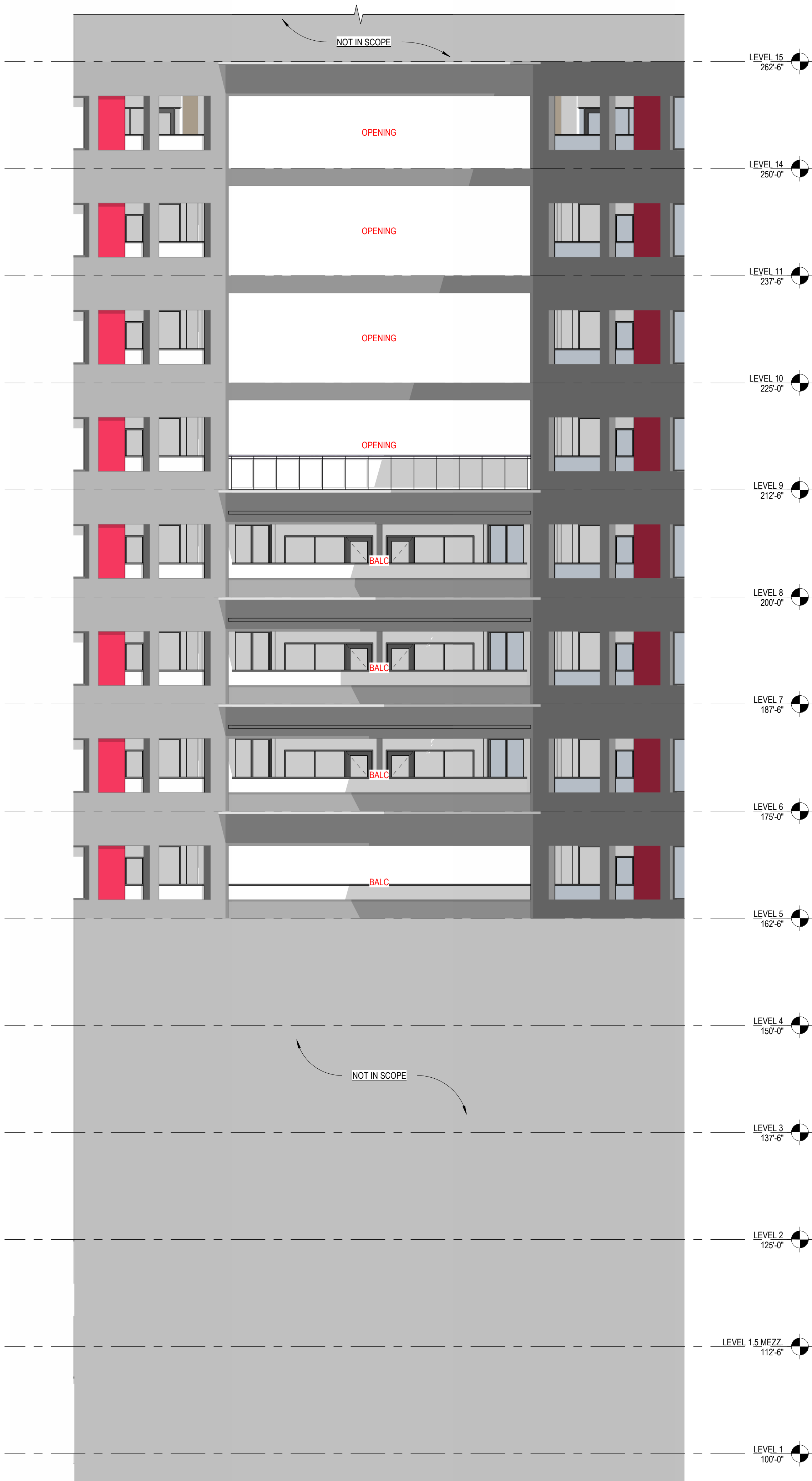
KEYNOTES

LEGEND

KEY PLAN



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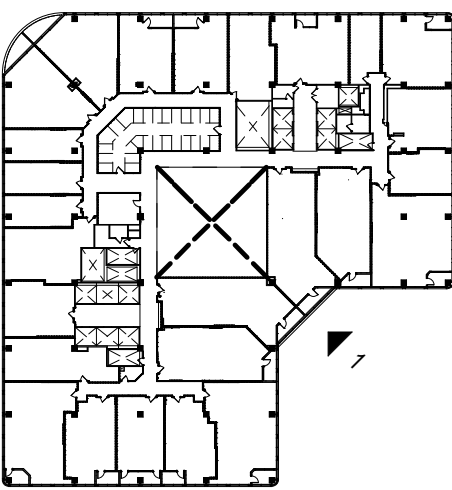
BUILDING ELEVATION -
SOUTHEAST

SCALE: 1/8" = 1'-0"

1
A202



KEY PLAN



LEGEND

? KEYNOTES

GENERAL NOTES

A. SEE ARCHITECTURAL FLOOR PLANS AND OPENING SCHEDULES FOR ALL OPENING SIZES, TYPES, MATERIALS, GLAZING AND DETAILS.

SHEET TITLE
EXTERIOR
ELEVATION -
SOUTHEAST

SHEET SIZE
30" x 42"

DRAWN BY
JTO

DATE
03/06/2025

SHEET #
A202

COMM. NO.
E-12854

DATE
03/06/2025

DATE
03/06/2025

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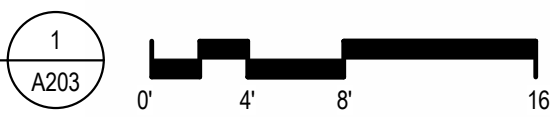
NOT FOR
CONSTRUCTION

ATRIUM 1 RESIDENCES - LEVELS 5-14
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ACABAY INC.
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BUILDING ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

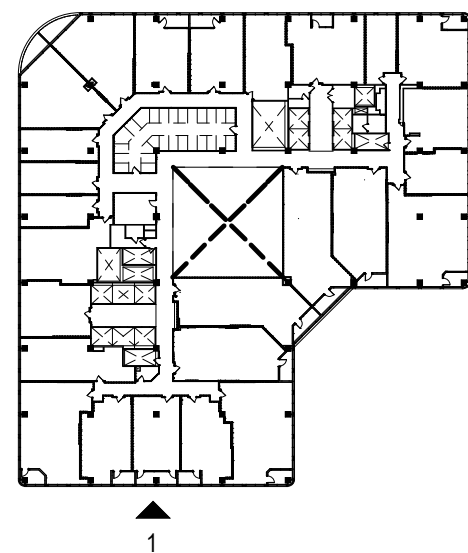


GENERAL NOTES
A. SEE ARCHITECTURAL FLOOR PLANS AND OPENING SCHEDULES FOR ALL OPENING SIZES, TYPES, MATERIALS, GLAZING AND DETAILS.

KEYNOTES

LEGEND

KEY PLAN

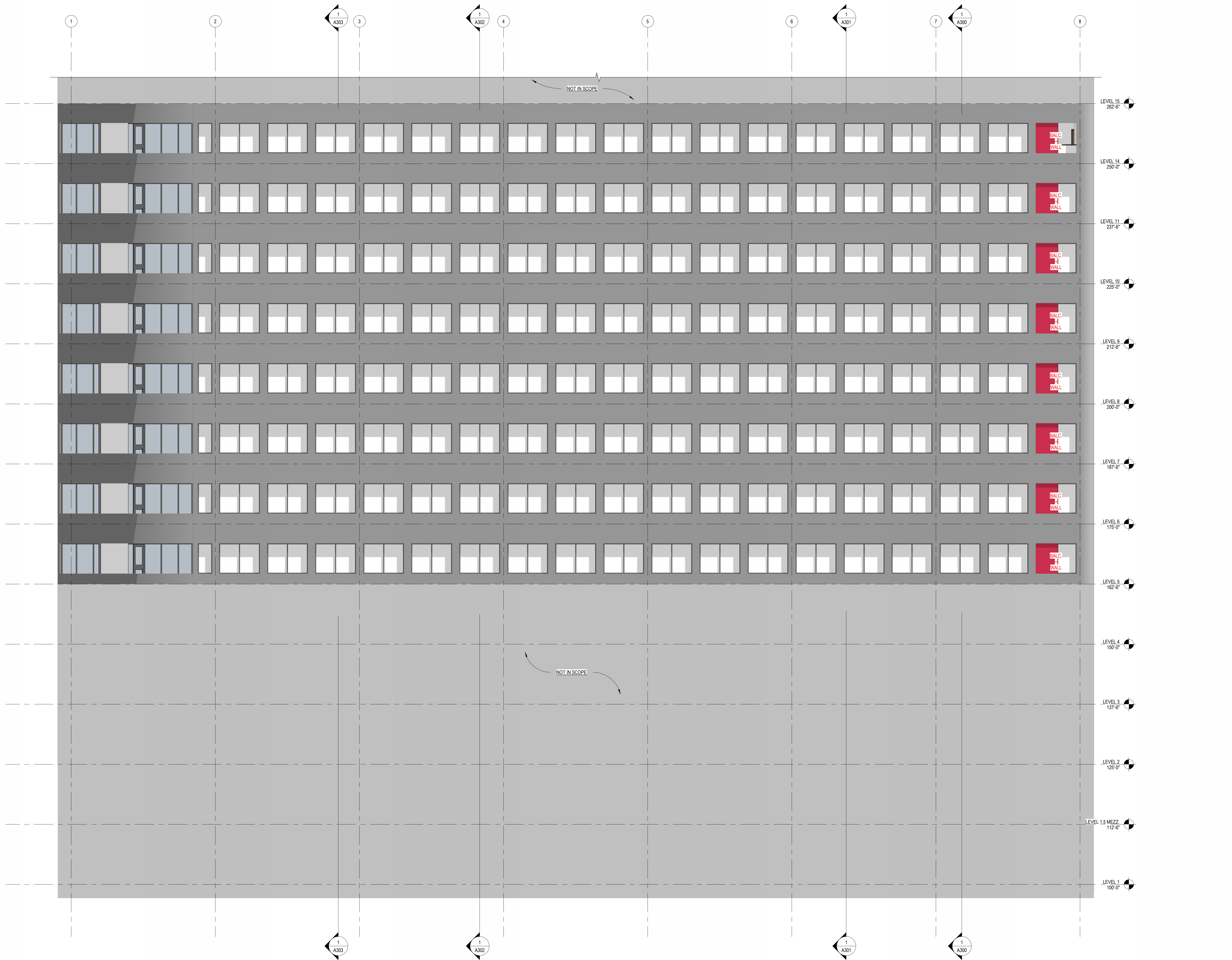


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ATRIUM 1 RESIDENCES - LEVELS 5-14
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ACABAY INC.
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elevator
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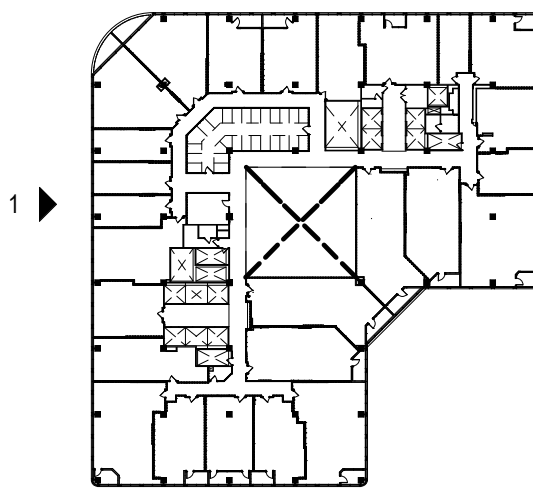
GENERAL NOTES

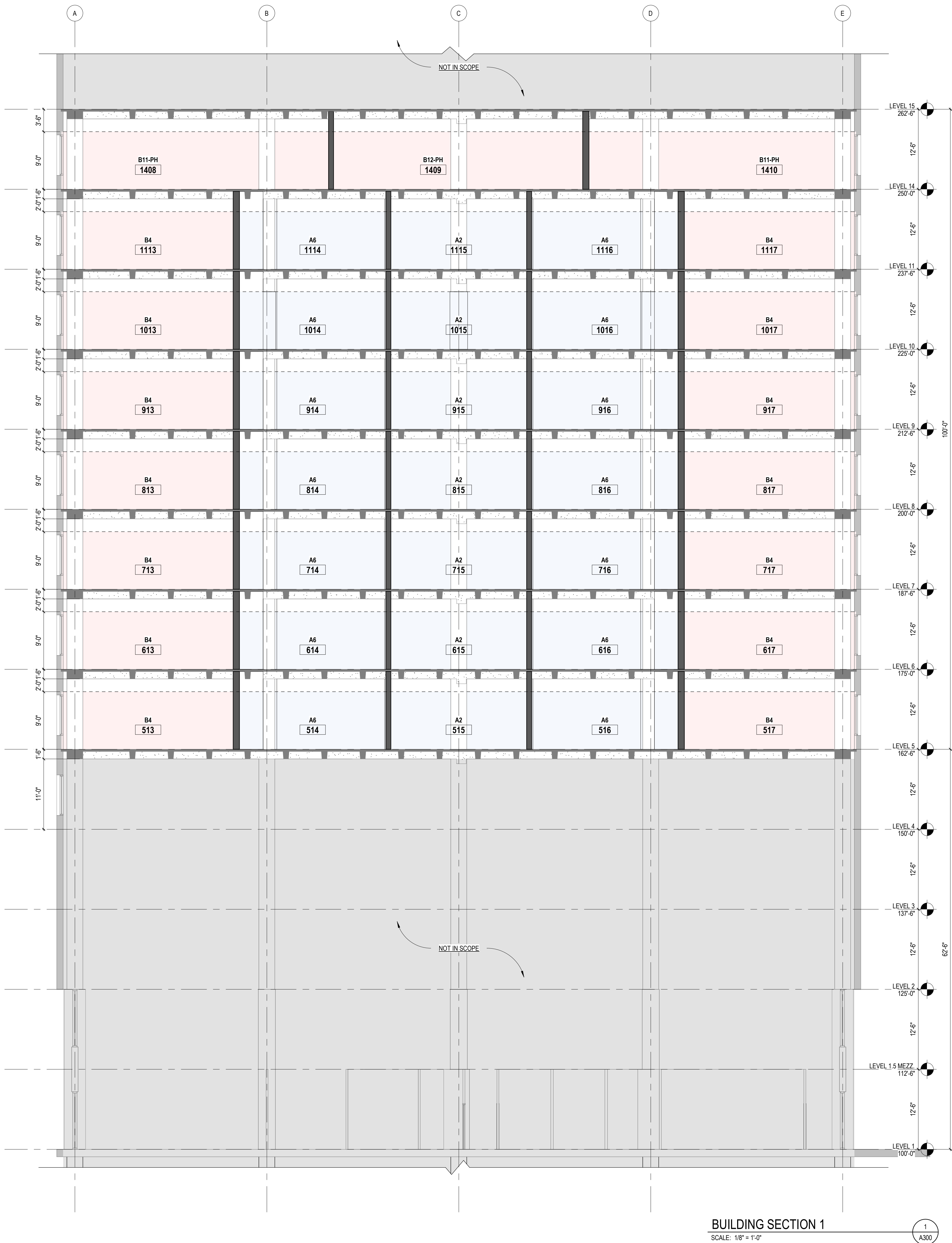
A. SEE ARCHITECTURAL FLOOR PLANS AND OPENING SCHEDULES FOR ALL OPENING SIZES, TYPES, MATERIALS, GLAZING AND DETAILS.

KEYNOTES

LEGEND

KEY PLAN





BUILDING SECTION 1
SCALE: 1/8" = 1'-0"

GENERAL NOTES

A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.

B. COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS, OPENING SCHEDULES, ETC.

C. ALL VOIDS AND ANNULAR AIR SPACES IN WALLS TO BE FILLED WITH EXPANDING FOAM INSULATION.

KEYNOTES



ATRIUM 1 RESIDENCES - LEVELS 5-14
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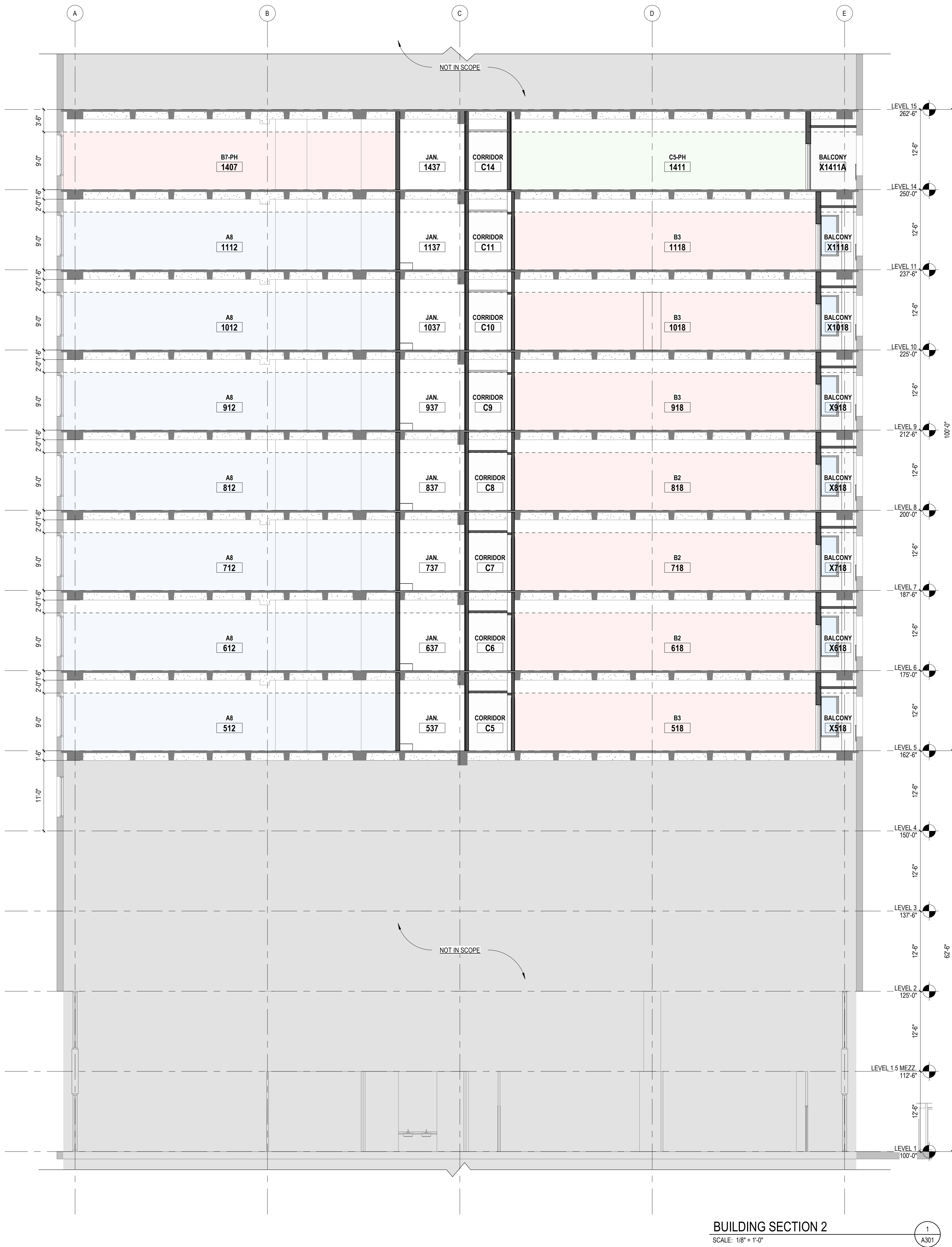
NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
BUILDING SECTION	
SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2025
SHEET #	
1	

A300





BUILDING SECTION 2
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- B. COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS, OPENING SCHEDULES, ETC.
- C. ALL VOIDS AND ANNULAR AIR SPACES IN WALLS TO BE FILLED WITH EXPANDING FOAM INSULATION.

KEYNOTES



ATRIUM 1 RESIDENCES - LEVELS 5-14
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NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
BUILDING SECTION	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2025
SHEET #	
A301	





GENERAL NOTES

A. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.

B. COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS, OPENING SCHEDULES, ETC.

C. ALL VOIDS AND ANNULAR AIR SPACES IN WALLS TO BE FILLED WITH EXPANDING FOAM INSULATION.

? KEYNOTES



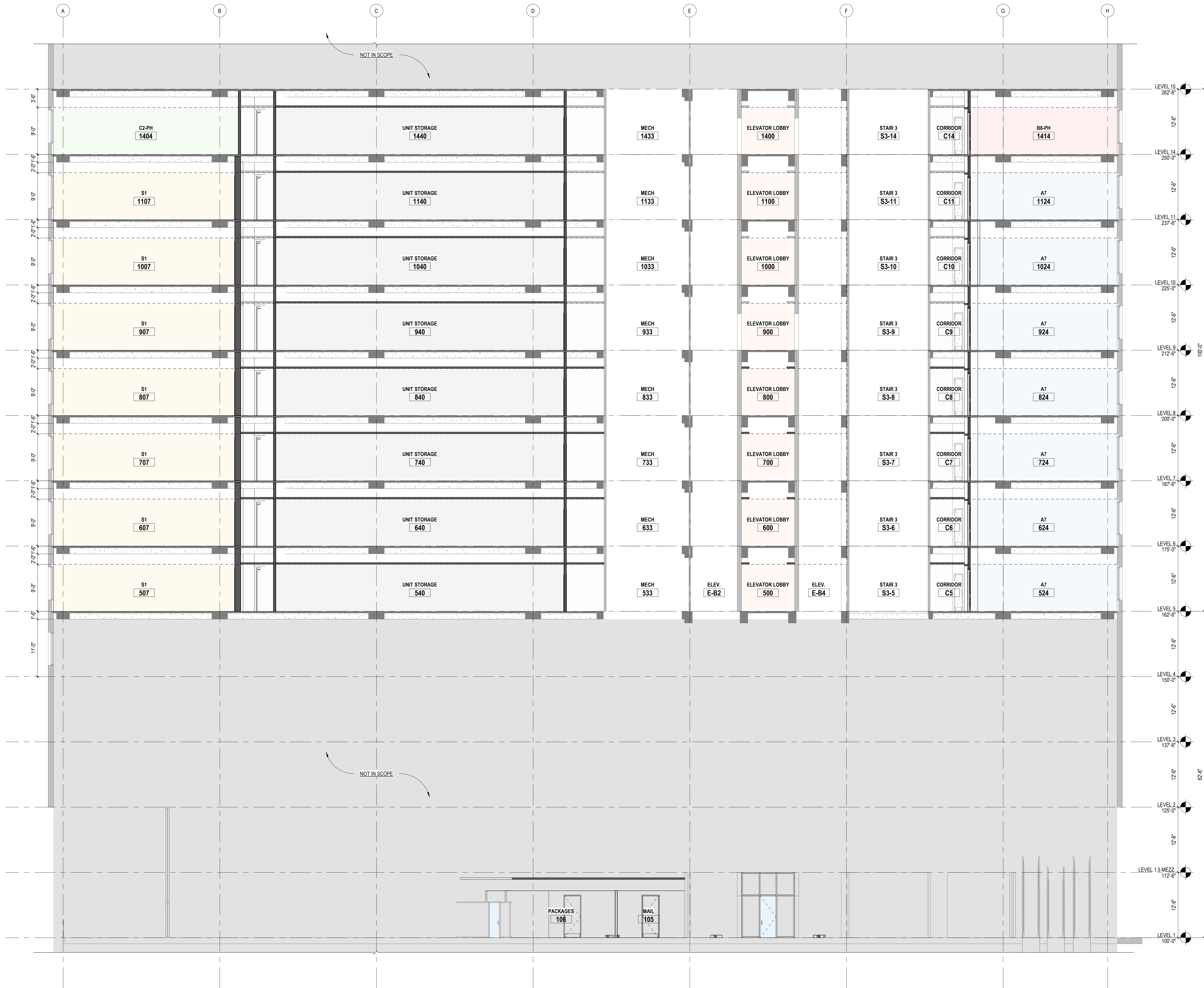
ATRIUM 1 RESIDENCES - LEVELS 5-14
201 E 4TH ST, CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
BUILDING SECTION	
SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
JTO	03/06/2025
SHEET #	
A302	



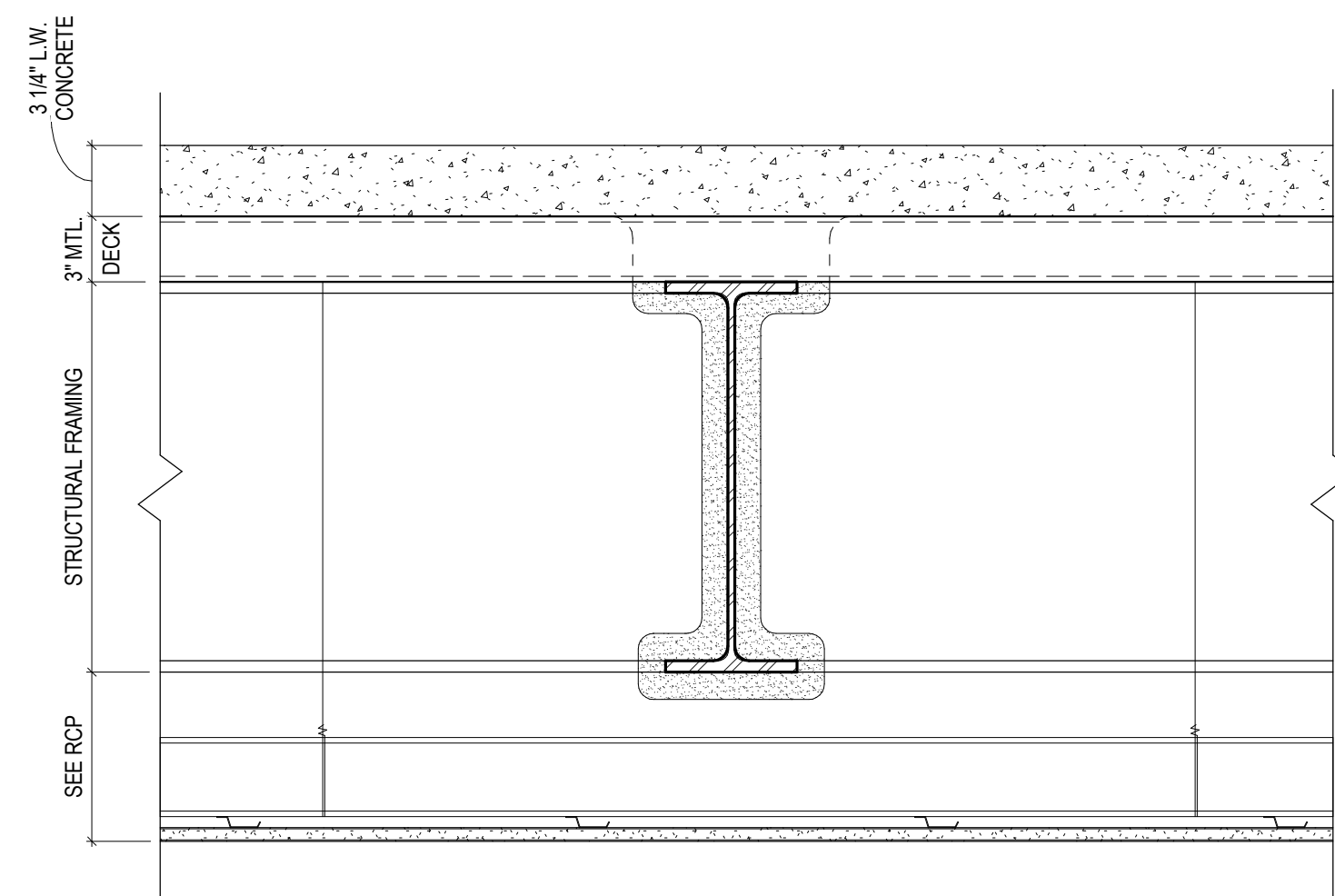


BUILDING SECTION 4
SCALE: 1/8" = 1'-0"

FLOOR ASSEMBLY

GENERAL PARTITIONS NOTES

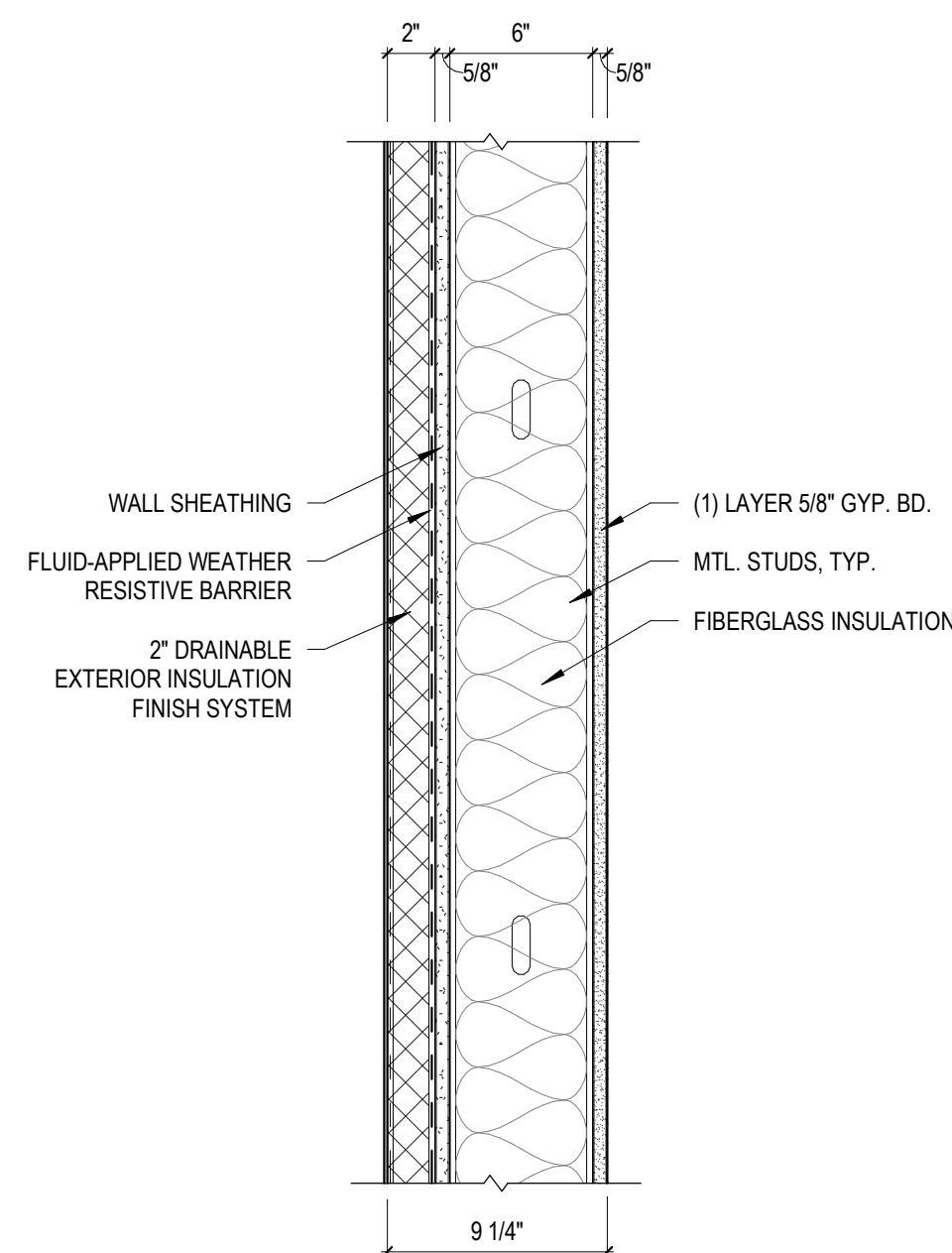
- A. COORDINATE ALL PARTITIONS WITH REQUIREMENTS OF STRUCTURAL DRAWINGS - PROVIDE REINFORCING, ETC. AS REQUIRED BY STRUCTURAL DRAWINGS.
- B. MINIMUM THICKNESS TO BE 18 MIL. SEE ALSO SPECIFICATIONS.
- C. PROVIDE A THICKNESS OF #4 BARS AT 32-INCHES ON CENTER FULLY GROUTED AT ALL CMU WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.
- D. PROVIDE TRUSS-TYPE HORIZONTAL REINFORCING AT A MINIMUM OF 16-INCHES VERTICALLY IN ALL CMU WALLS (PROVIDE LADDER TYPE WHERE REQUIRED BY STRUCTURAL DRAWINGS).
- E. ALL CMU TO BE LIGHTWEIGHT BLOCK UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS OR PARTITION NOTES.
- F. PROVIDE ALL ACCESSORIES, ACCESSORIES, ACCESSORIES AND ACCESSORIES AND ACCESSORIES LISTED BY REFERENCED TEST ASSEMBLY AND SPECIFICATIONS.
- G. PROVIDE COORDINATING ALL AT FIRE RATED AND SMOKE-RESISTIVE ASSEMBLY PENETRATIONS AND JOINT LOCATIONS AND PERMITTER TERMINATIONS PER REFERENCED TEST ASSEMBLIES AND SPECIFICATIONS AND WHERE NOTED OTHERWISE TO PUBLIC VIEW, PROVIDE SYSTEMS COMPATIBLE WITH PAINT / FINISH.
- H. PROVIDE AND COORDINATE BATHS, GRAB BARS AND OR BLOCKING FOR WALLS AND WHERE NOTED OTHERWISE TO PUBLIC VIEW, PROVIDE BASE CABINETS, SHELVING, RAILINGS, GRATES, BARS, TOILET ACCESSORIES, LADDERS, DOOR PANS, MIRRORS, VISUAL DISPLAY SURFACES, PLUMBING AND ELECTRICAL FIXTURES, ETC.
- I. PROVIDE THE BACKING PANELS IN VIEW OF GYPSUM BOARD WHERE WALL FINISHES ARE SCHEDULED.
- J. PROVIDE REINFORCING IN GYPSUM BOARD AT ALL EXPOSED GYPSUM BOARD PARTITIONS & CEILINGS, IN TOILET ROOMS, SHOWERS, JANITOR CLOSETS AND OTHER ROOMS WITH PLUMBING FIXTURES.
- K. PROVIDE REINFORCING IN GYPSUM BOARD AT ALL EXPOSED GYPSUM BOARD PARTITIONS, CORRIDORS, LA SPACES, AND CLASSROOMS / LEARNING SPACES UNLESS NOTED OTHERWISE.
- L. PROVIDE TYPE-C FIRE RATED GYPSUM BOARD AT ALL FIRE RATED WALLS AND CEILINGS.
- M. PROVIDE TYPE-C FIRE RATED GYPSUM BOARD AT ALL FIRE RATED CEILING PARTITIONS.
- N. PROVIDE ACoustICAL SEALANT AT PERIMETER OF ALL WALLS AND ALL PENETRATIONS THROUGH WALLS INDICATED TO RECEIVE SOUND BATT INSULATION.
- O. PROVIDE ACoustICAL BARRIER PADS AT ALL OUTLET BOSSES IN PARTITIONS WITH MULTIPLE LAYERS OF GYPSUM BOARD AND/OR REINFORCING PARTS.
- P. LABEL ALL FIRE RATED ASSEMBLIES AND SMOKE PARTITIONS ABOVE FINISH CEILING AS SPECIFIED.
- Q. PROVIDE CONTINUOUS BRIDGING PER BELOW UNLESS NOTED OTHERWISE AT PARTITIONS > 10'-0". PROVIDE (1) ROW OF BRIDGING AT MID-HEIGHT, AT PARTITIONS > 10'-0". PROVIDE (2) ROW OF BRIDGING AT 5'-0" MAX. FROM TOP AND BOTTOM OF PARTITION. PROVIDE FLOOR / ROOF LEVELS WHERE ASSEMBLY PASSES THRU FLOOR / ROOF.
- R. FINISH ALL GYPSUM BOARD JOINTS AND SCREW HEADS AT ALL SURFACES EXPOSED TO VIEW.
- S. OPENINGS IN WALLS AND SLABS SHALL BE TIGHT TO PENETRATING OBJECT - FIRE STOP AS REQUIRED.
- T. PROVIDE PARTITION ASSEMBLIES WITH SCHEDULED FINISHES AT PARTITIONS WHERE FRAMING DOES NOT EXTEND TO DECK. PROVIDE DIAGONAL KICK BRACING UP TO STRUCTURE @ 4'-0" MAX.
- U. PROVIDE ANCHOR FOR ALL PARTITIONS AND PARTITIONS FOR ALL PARTITIONS.
- V. PROVIDE CONTROL JOINTS IN GYPSUM BOARD WALLS PER XXXXX.
- X. SEE DETAILS XXXXX, XXXXX, AND XXXXX FOR GYPSUM BOARD PARTITION AND CEILING STRIPS.
- Y. PROVIDE CONSTRUCTION AT MEP ITEMS.
- Z. PROVIDE STEEL STRAP ANCHORS PER XXXXX AT ALL LOW-BEARING CMU WALLS AND ANCHORS ANCHORED MESH ANCHORS PER XXXXX AT NON-LOW-BEARING CMU WALLS.
- AA. PROVIDE CONTINUOUS CORNER BEAD AT ALL GYPSUM BOARD PARTITIONS.
- AB. PROVIDE CONTINUOUS J-BEAD OR L-BEAD AT ALL GYPSUM BOARD EDGES EXPOSED TO VIEW.
- BB. SEE DETAILS XXXXX FOR GYPSUM BOARD TO CMU WALL TRANSITIONS.



- TYP. FLOOR/CEILING ASSEMBLY**
2-HR: UL DESIGN NO. D902
- 3 1/4" LIGHT WEIGHT CONCRETE
 - 3" METAL DECKING
 - STEEL BEAM, SEE STRUCTURAL DRAWINGS
 - CEILING AS SCHEDULED WHEN APPLICABLE
SEE RCP FOR MORE INFORMATION

FA1 - FLOOR ASSEMBLY

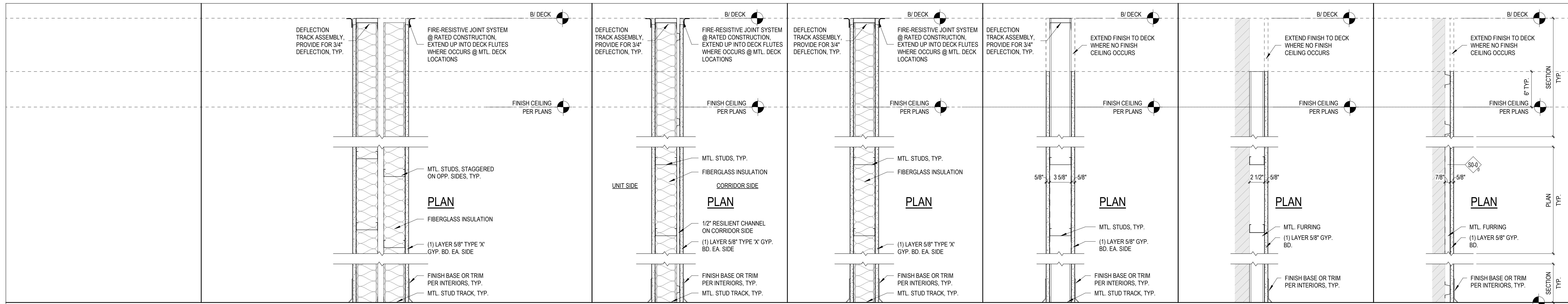
EXTERIOR WALL TYPE



WALL TYPE:	E1
STUD SIZE	6"
STUD SPACING	24"
PARTITION WIDTH	9 3/8"
INSULATION	NO
FIRE RATING	0 HR
TEST No.	-
STC RATING	<40

NOTES:
EIFS / STUD

INTERIOR PARTITIONS



WALL TYPE:	S4	S4a	S4b
STUD SIZE	(2) 2X4	2X4 + 2X6	(2) 2X6
STUD SPACING	24"	24"	24"
PARTITION WIDTH	9 1/2"	11 7/8"	1'-2 1/4"
INSULATION	YES	YES	YES
FIRE RATING	1 HR	1 HR	1 HR
TEST No.	UL-L493	UL-L493	UL-L493
STC RATING	-	-	-

NOTES:
UNIT DEMISING FIRE PARTITION
[CONSTRUCTED AS FIRE BARRIER
PER OEBC CH. 13]

WALL TYPE:	S3-3	S3-6
STUD SIZE	3 5/8"	6"
STUD SPACING	24"	24"
PARTITION WIDTH	5 3/8"	7 3/4"
INSULATION	YES	YES
FIRE RATING	1HR	1HR
TEST No.	UL-U419	UL-U419
STC RATING	53	>53

NOTES:
RATED CORRIDOR FIRE PARTITION

WALL TYPE:	S2-3	S2-6
STUD SIZE	3 5/8"	6"
STUD SPACING	24"	24"
PARTITION WIDTH	4 7/8"	7 1/4"
INSULATION	YES	YES
FIRE RATING	1 HR	1 HR
TEST No.	UL-U419	UL-U419
STC RATING	49	>49

NOTES:
RATED FIRE PARTITION

WALL TYPE:	S1-3	S1-6
STUD SIZE	3-5/8"	6"
STUD SPACING	24"	24"
PARTITION WIDTH	4 7/8"	7 1/4"
INSULATION	NO	NO
FIRE RATING	0 HR	0 HR
TEST No.	-	-
STC RATING	<40	<40

NOTES:
TYPICAL UNIT PARTITIONS

WALL TYPE:	S0-2	S0-3	S0-6
STUD SIZE	2 1/2"	3 5/8"	6"
STUD SPACING	24"	24"	24"
PARTITION WIDTH	3 1/8"	4 1/4"	6 5/8"
INSULATION	NO	NO	NO
FIRE RATING	0 HR	0 HR	0 HR
TEST No.	-	-	-
STC RATING	-	-	-

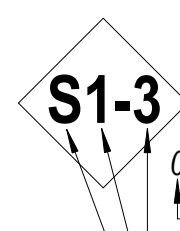
NOTES:
STUD FURRING

WALL TYPE:	S0-0	S0-1
STUD SIZE	7/8"	1 5/8"
STUD SPACING	16"	24"
PARTITION WIDTH	1 1/2"	2 1/4"
INSULATION	-	-
FIRE RATING	0 HR	0 HR
TEST No.	-	-
STC RATING	-	-

NOTES:
HAT CHANNEL FURRING

PARTITION TAG LEGEND

LABEL	MATERIAL
C	CONCRETE
M	CONCRETE MASONRY UNITS
S	STEEL
W	WOOD



PARTITION HOURLY FIRE RATING
PARTITION CORE MATERIAL NOMINAL DIMENSION
PARTITION CORE MATERIAL NOMINAL DIMENSION
PARTITION CORE MATERIAL

EXAMPLE: THIS IS A STEEL ASSEMBLY TYPE #1 WITH A 3" CORE (NOMINAL), 0-HOUR FIRE RATING

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST, CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR
CONSTRUCTION

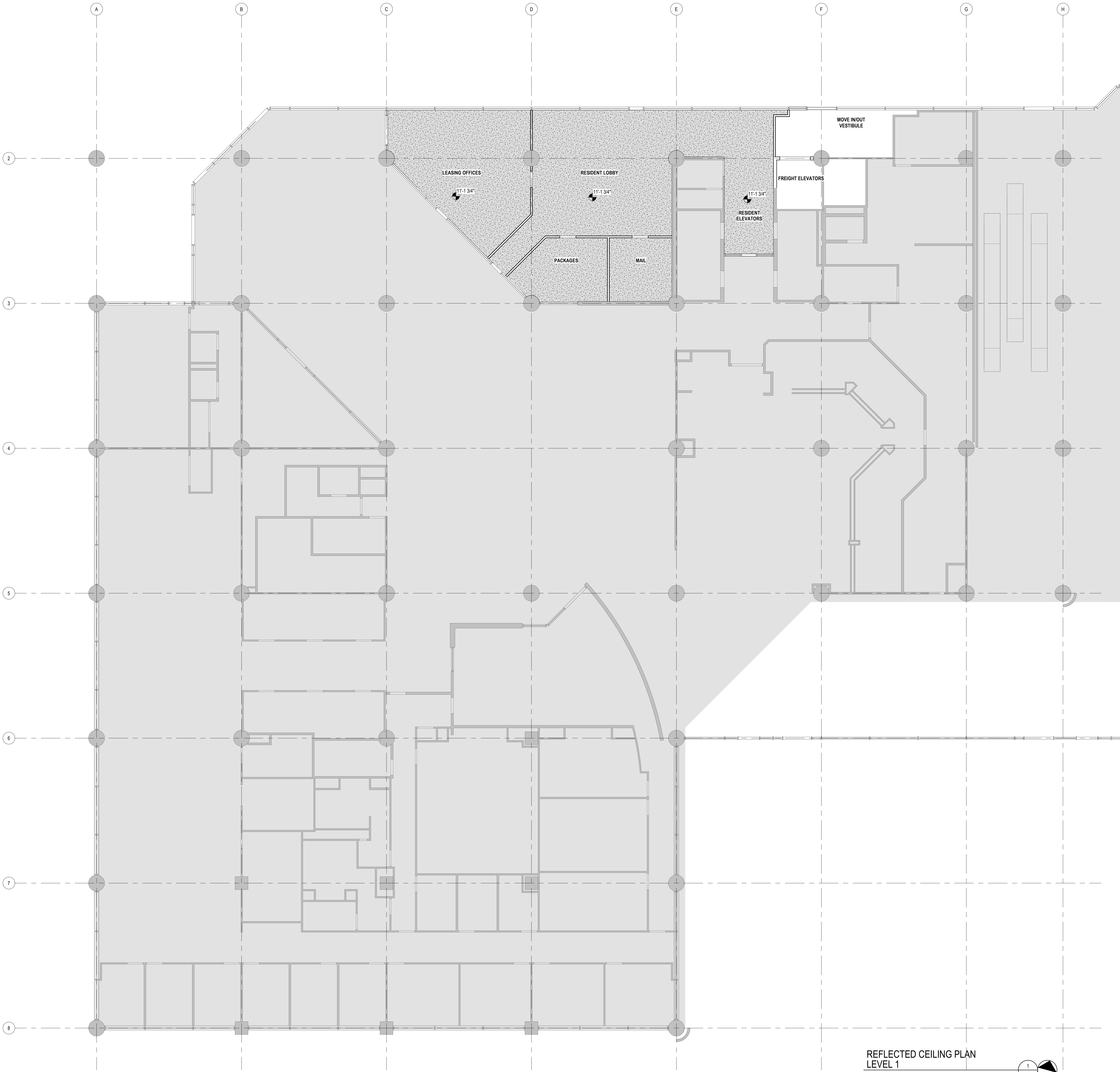
ISSUED	DATE
SD SUBMITTAL	03/06/2020

SHEET TITLE

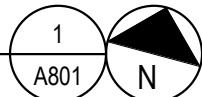
WALL AND FLOOR ASSEMBLIES

SHEET SIZE 30" x 42"	COMM. No. E-12854
DRAWN BY JTO	DATE 03/06/2026

A700



REFLECTED CEILING PLAN
LEVEL 1
SCALE: 1/8" = 1'-0"



GENERAL NOTES

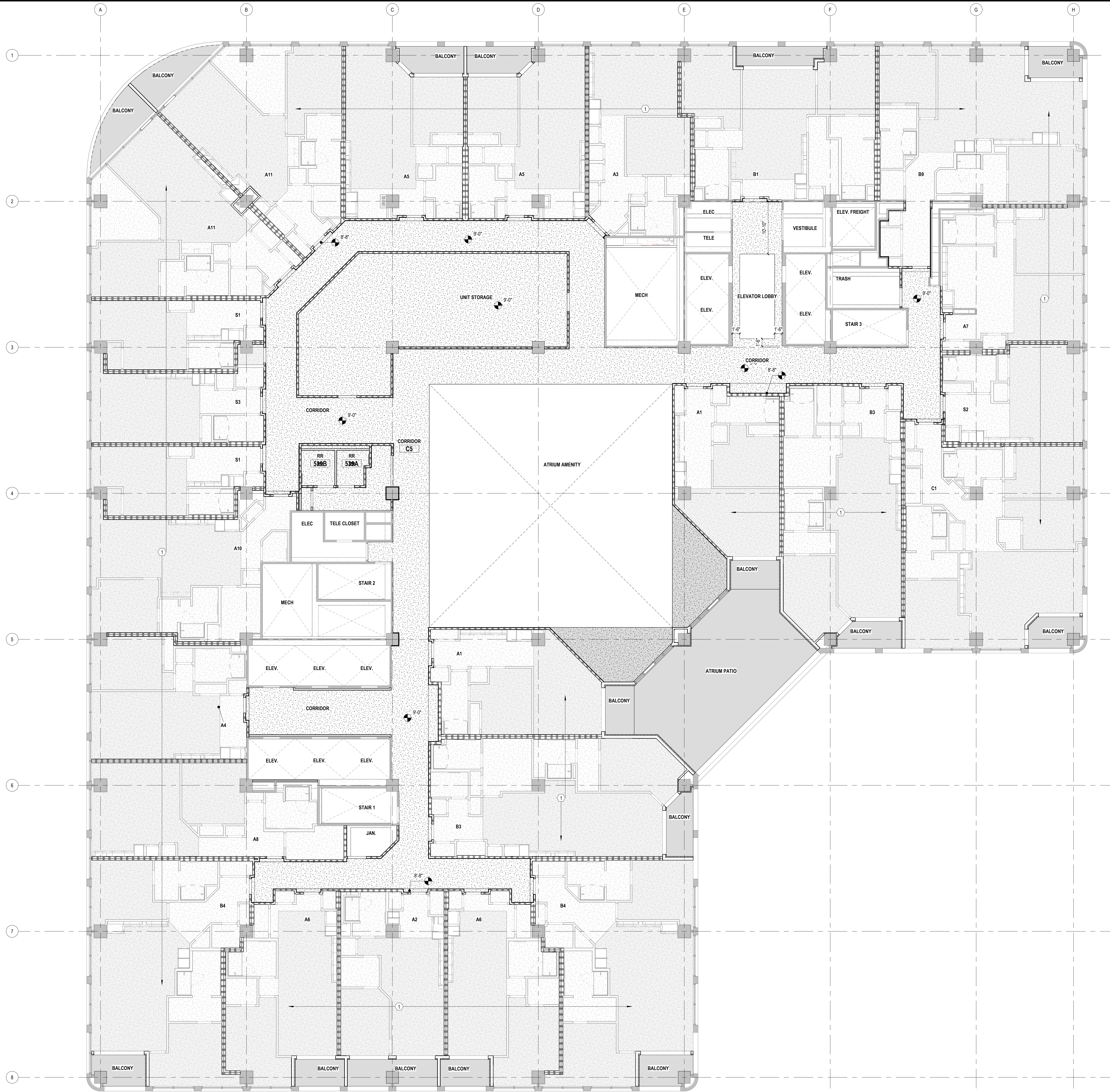
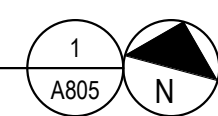
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B. SEE FINISH SCHEDULE FOR CEILING HEIGHTS AND FINISHES NOT DESIGNATED UNLESS OTHERWISE NOTED.
C. LIGHT FIXTURES, HVAC SUPPLY AND RETURN, AND OTHER MECH/ELECT. ITEMS ARE SHOWN ON ARCHITECTURAL CEILING PLANS FOR OVERALL COORDINATION. SEE MEP DRAWINGS FOR ADDITIONAL DETAILS AND INFORMATION.
D. ALL DETECTORS AND ALL OTHER DEVICES SHALL BE CENTERED IN CEILING TILE AT LOCATIONS REQUIRED WITHIN SUSPENDED ACOUSTICAL CEILINGS. MECH/ELECT ACCESSORIES ITEMS NOT SHOWN (SEE MEP DRAWINGS) SHALL BE CENTERED AND/OR EQUIDISTANT & EQUALLY SPACED AT ALL CEILINGS TO THE MAXIMUM EXTENT POSSIBLE TO CREATE A CLEAN AND UNIFORM APPEARANCE, UNLESS OTHERWISE NOTED.
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F. ALL SPRINKLER COVERS, FIXTURES, DIFFUSERS, CEILING MOUNTED DEVICES, ETC. TO MATCH CEILING COLOR.
G. CEILING ELEVATIONS NOTED PER PLAN REPRESENT HEIGHT ABOVE FINISH FLOOR.
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I. WHERE ACOUSTICAL PANEL CEILING WALL ANGLE FALLS ON A MORTAR JOINT, PROVIDE DEEP LEG WALL ANGLE TO ALLOW FULL ANCHORAGE AND TO SEAT LEVEL AND TIGHT AGAINST MASONRY.
J. PROVIDE PREFINISHED ESCUTCHEON PLATE OR COVER AT ALL CEILING PENETRATIONS.
K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

KEYNOTES

DRAWING NOTES

RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT - SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT - SEE ELECTRICAL DRAWINGS
- SMOKE DEVICE - SEE ELECTRICAL DRAWINGS
- LINEAR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE - FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA - FOR ENCLOSED SPACE ABOVE

REFLECTED CEILING PLAN
LEVEL 5
SCALE: 1/8" = 1'-0"

GENERAL NOTES

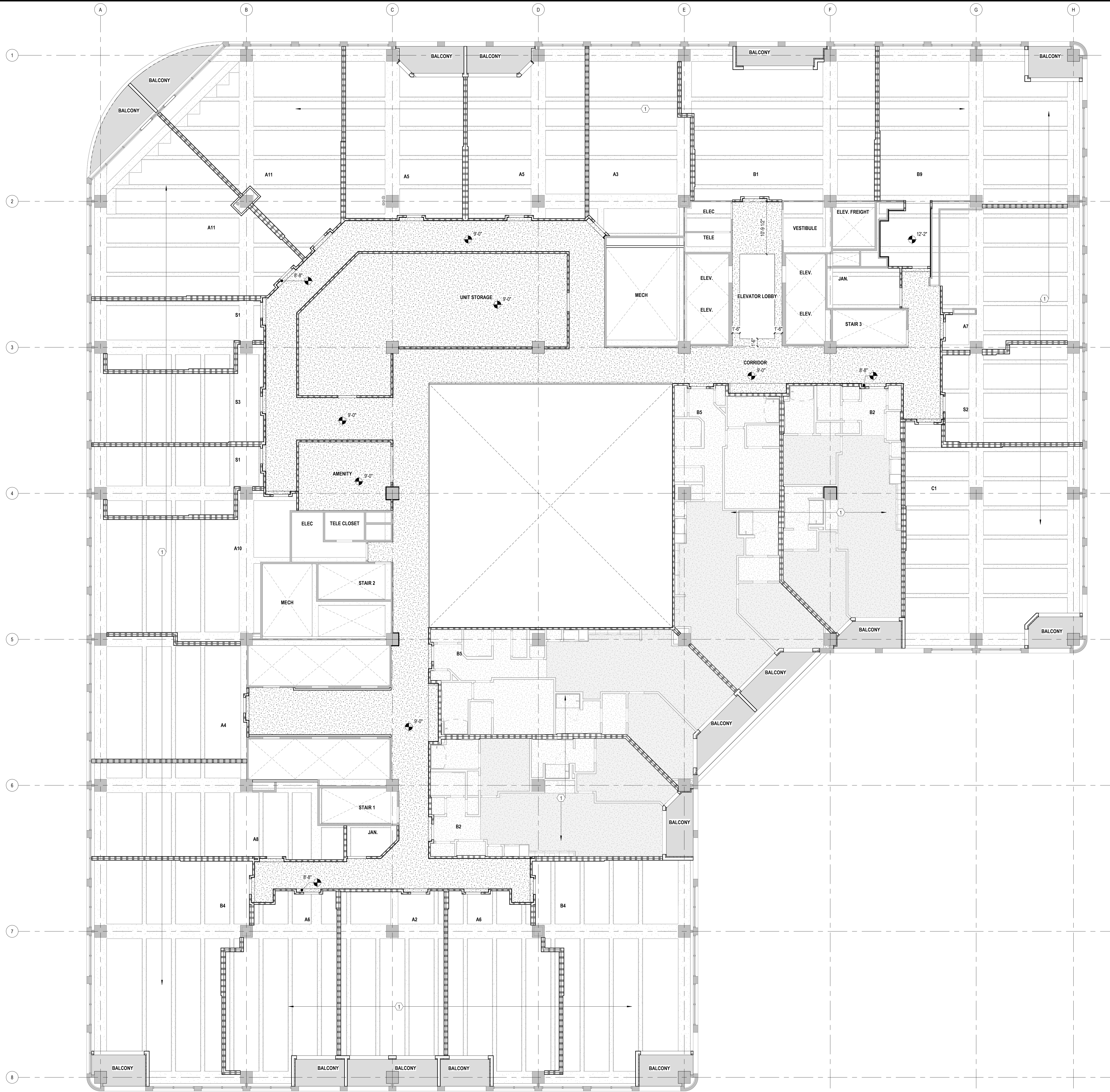
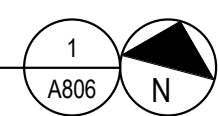
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- J. PROVIDE PREFINISHED ESCUTCHEON PLATE OR COVER AT ALL CEILING PENETRATIONS.
- K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

KEYNOTES

(X) DRAWING NOTES

RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT -
SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT -
SEE ELECTRICAL DRAWINGS
- SMOKE DEVICE -
SEE ELECTRICAL DRAWINGS
- LINEAR LIGHT FIXTURE -
SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE -
SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE -
FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA -
FOR ENCLOSED SPACE ABOVE

REFLECTED CEILING PLAN
LEVEL 6
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO FABRICATION.
- B. SEE FINISH SCHEDULE FOR CEILING HEIGHTS AND FINISHES NOT DESIGNATED UNLESS OTHERWISE NOTED.
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- K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

KEYNOTES

(X) DRAWING NOTES

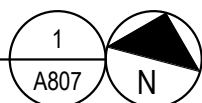
RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT -
SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT -
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SEE ELECTRICAL DRAWINGS
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SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE -
SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE -
FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA -
FOR ENCLOSED SPACE ABOVE



REFLECTED CEILING PLAN
LEVEL 7

SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO FABRICATION.
 - B. SEE FINISH SCHEDULE FOR CEILING HEIGHTS AND FINISHES NOT DESIGNATED UNLESS OTHERWISE NOTED.
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 - K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

KEYNOTES

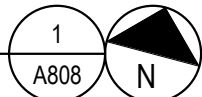
DRAWING NOTES

RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT - SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT - SEE ELECTRICAL DRAWINGS
- SMOKE DEVICE - SEE ELECTRICAL DRAWINGS
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- CAN LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE - FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA - FOR ENCLOSED SPACE ABOVE



REFLECTED CEILING PLAN
LEVEL 8
SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO FABRICATION.
 - B. SEE FINISH SCHEDULE FOR CEILING HEIGHTS AND FINISHES NOT DESIGNATED UNLESS OTHERWISE NOTED.
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 - K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

KEYNOTES

DRAWING NOTES

RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT - SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT - SEE ELECTRICAL DRAWINGS
- SMOKE DEVICE - SEE ELECTRICAL DRAWINGS
- LINEAR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE - FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA - FOR ENCLOSED SPACE ABOVE



REFLECTED CEILING PLAN
LEVEL 9
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
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KEYNOTES

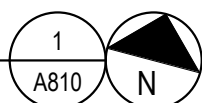
DRAWING NOTES

RCP LEGEND

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- SMOKE DEVICE - SEE ELECTRICAL DRAWINGS
- LINEAR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE - FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA - FOR ENCLOSED SPACE ABOVE



REFLECTED CEILING PLAN
LEVEL 10
SCALE: 1/8" = 1'-0"



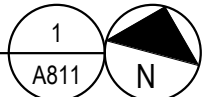
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 - I. WHERE ACOUSTICAL PANEL CEILING WALL ANGLE FALLS ON A MORTAR JOINT, PROVIDE DEEP LEG WALL ANGLE TO ALLOW FULL ANCHORAGE AND TO SEAT LEVEL AND TIGHT AGAINST MASONRY.
 - J. PROVIDE PREFINISHED ESCUTCHEON PLATE OR COVER AT ALL CEILING PENETRATIONS.
 - K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

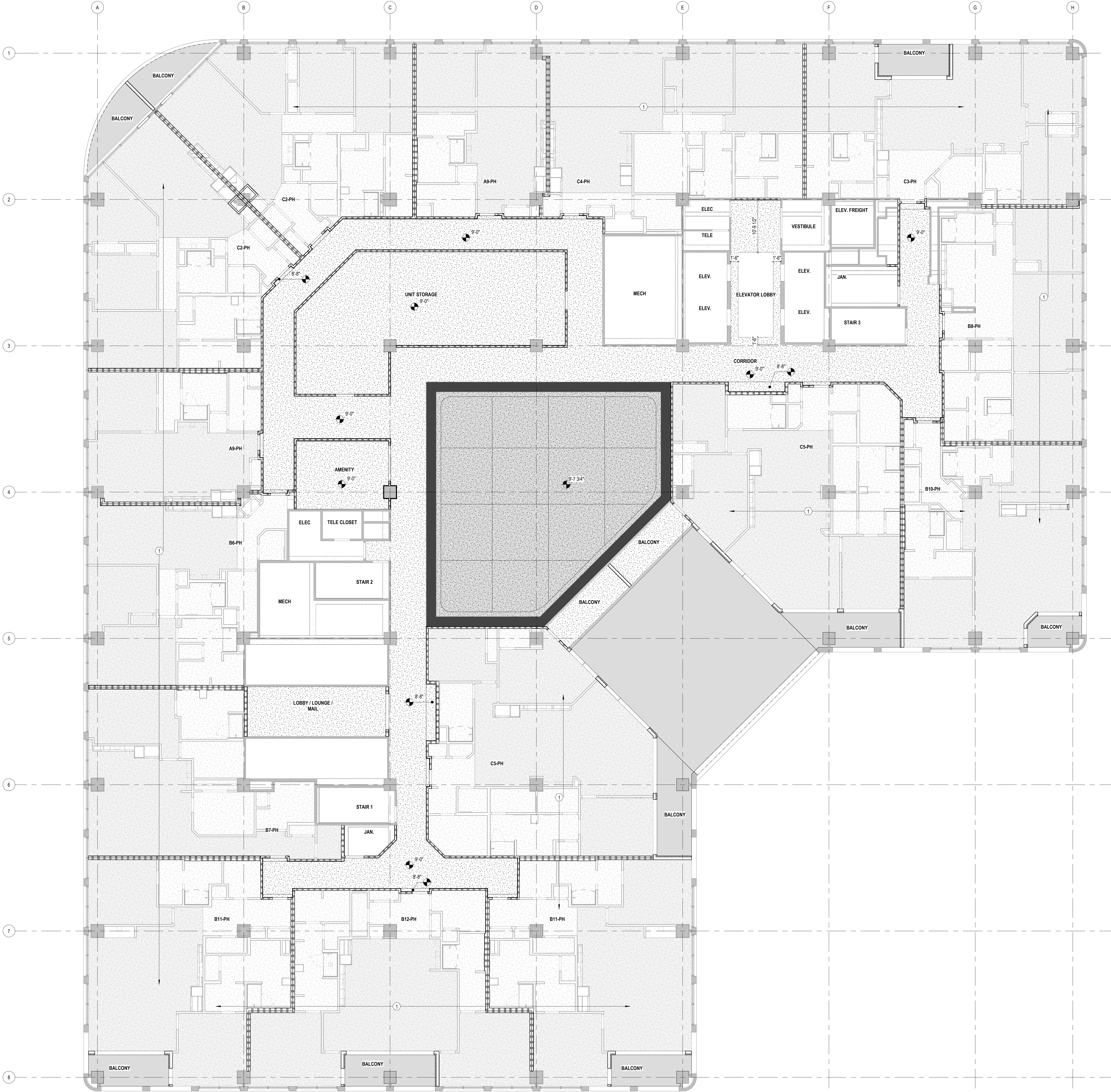
KEYNOTES

DRAWING NOTES

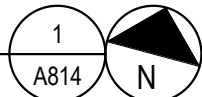
RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT - SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT - SEE ELECTRICAL DRAWINGS
- SMOKE DEVICE - SEE ELECTRICAL DRAWINGS
- LINEAR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE - FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA - FOR ENCLOSED SPACE ABOVE





REFLECTED CEILING PLAN
LEVEL 14
SCALE: 1/8" = 1'-0"



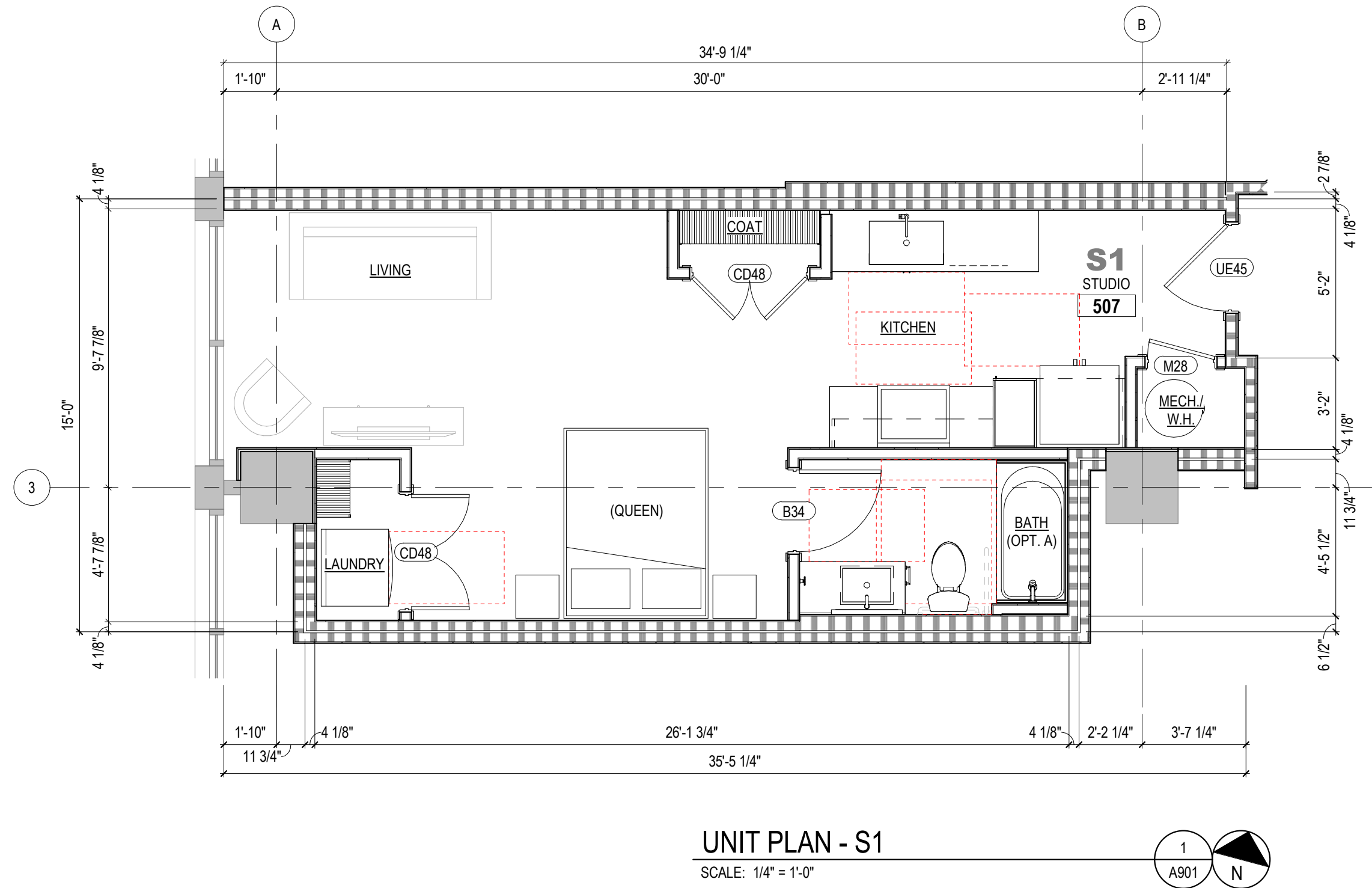
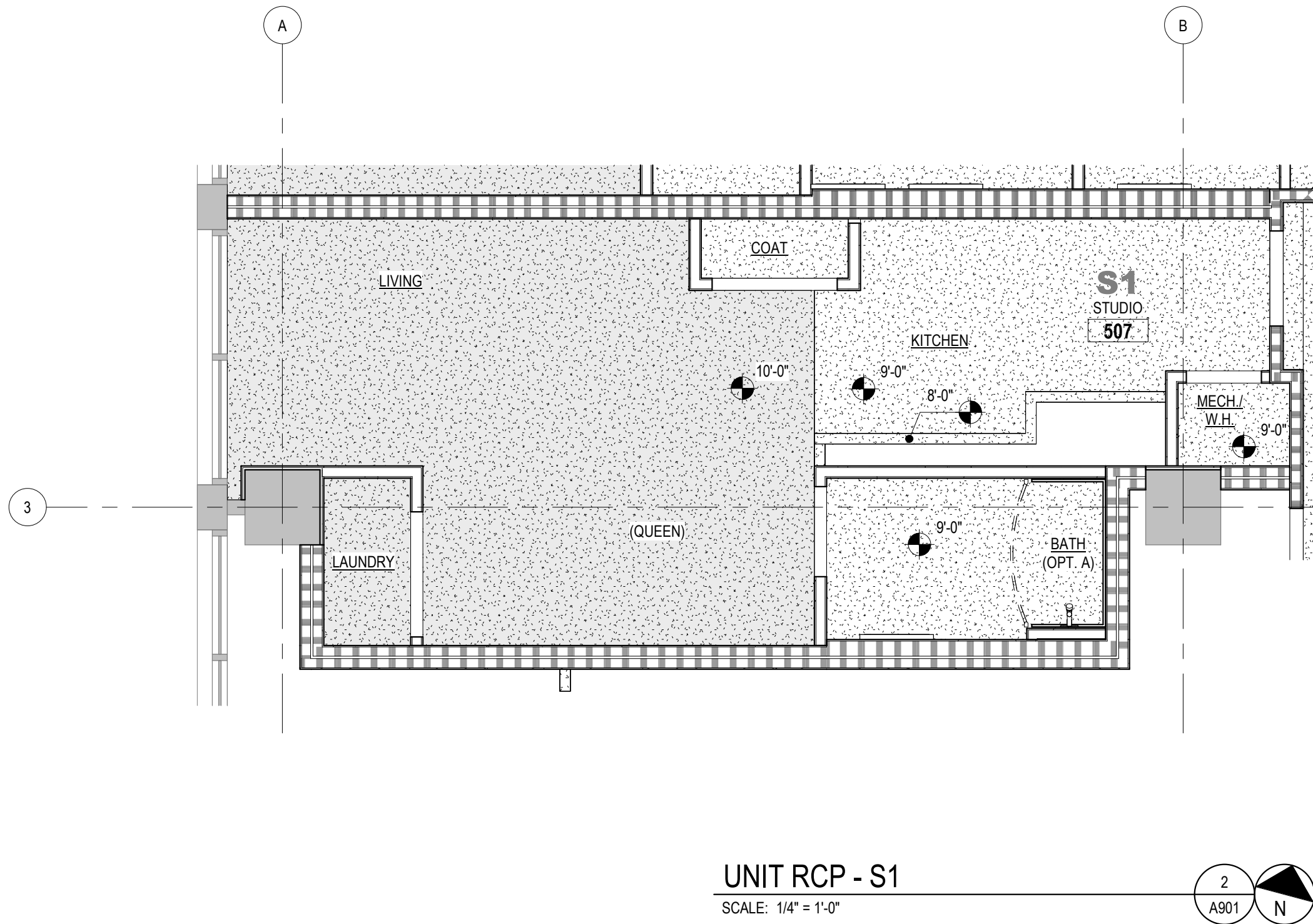
- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO FABRICATION.
 - B. SEE FINISH SCHEDULE FOR CEILING HEIGHTS AND FINISHES NOT DESIGNATED UNLESS OTHERWISE NOTED.
 - C. LIGHT FIXTURES, HVAC SUPPLY AND RETURN, AND OTHER ME/ELECT. ITEMS ARE SHOWN ON ARCHITECTURAL CEILING PLANS FOR OVERALL COORDINATION. SEE MEP DRAWINGS FOR ADDITIONAL DETAILS AND INFORMATION.
 - D. ALL DETECTORS AND ALL OTHER DEVICES SHALL BE CENTERED IN CEILING TILE AT LOCATIONS REQUIRED WITHIN SUSPENDED ACOUSTICAL CEILINGS. MECH/ELECT ACCESSORIES ITEMS NOT SHOWN (SEE MEP DRAWINGS) SHALL BE CENTERED AND/OR EQUIDISTANT & EQUALLY SPACED AT ALL CEILINGS TO THE MAXIMUM EXTENT POSSIBLE TO CREATE A CLEAN AND UNIFORM APPEARANCE, UNLESS OTHERWISE NOTED.
 - E. THE GENERAL CONTRACTOR IS TO PROVIDE ADDITIONAL CEILING GRID AT ALL 2'X2' (OR OTHER DISSIMILAR SIZED) LAY-IN DIFFUSERS, LIGHTS, ETC.
 - F. ALL SPRINKLER COVERS, FIXTURES, DIFFUSERS, CEILING MOUNTED DEVICES, ETC. TO MATCH CEILING COLOR.
 - G. CEILING ELEVATIONS NOTED PER PLAN REPRESENT HEIGHT ABOVE FINISH FLOOR.
 - H. ACCESS DOORS SHALL BE SUPPLIED AND INSTALLED BY MEP CONTRACTORS (PER TRADE). ALL ACCESS DOORS TO HAVE KEY OPERATED CYLINDER LOCK. KEY TO MATCH OWNER'S EXISTING MASTER KEY.
 - I. WHERE ACOUSTICAL PANEL CEILING WALL ANGLE FALLS ON A MORTAR JOINT, PROVIDE DEEP LEG WALL ANGLE TO ALLOW FULL ANCHORAGE AND TO SEAT LEVEL AND TIGHT AGAINST MASONRY.
 - J. PROVIDE PREFINISHED ESCUTCHEON PLATE OR COVER AT ALL CEILING PENETRATIONS.
 - K. ALL GYPSUM CEILING AREAS TO BE COORDINATED WITH LIGHTS BEFORE CEILING INSTALLATION.

KEYNOTES

DRAWING NOTES

RCP LEGEND

- EXPOSED STRUCTURAL FRAMING ABOVE
- GYPSUM CEILING, PAINTED
- EMERGENCY EXIT LIGHT - SEE ELECTRICAL DRAWINGS
- SPEAKER / STROBE LIGHT - SEE ELECTRICAL DRAWINGS
- SMOKE DEVICE - SEE ELECTRICAL DRAWINGS
- LINEAR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- CAN LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- BALCONY ABOVE - FOR NEWLY OCCUPIED EXISTING ROOFS
- INSULATION AREA - FOR ENCLOSED SPACE ABOVE



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND OR INSTALLATION
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE RATED ASSEMBLIES
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE 1P REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN
I. FURNITURE IS NOT IN CONTRACT
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET ~~A900~~ & ~~A701~~ FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS
R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES
S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION
T. PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS
U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN
V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS
Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES
Z. ALL SHOWER & BATHTUB TO BE 36" X 60" U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
2. ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14



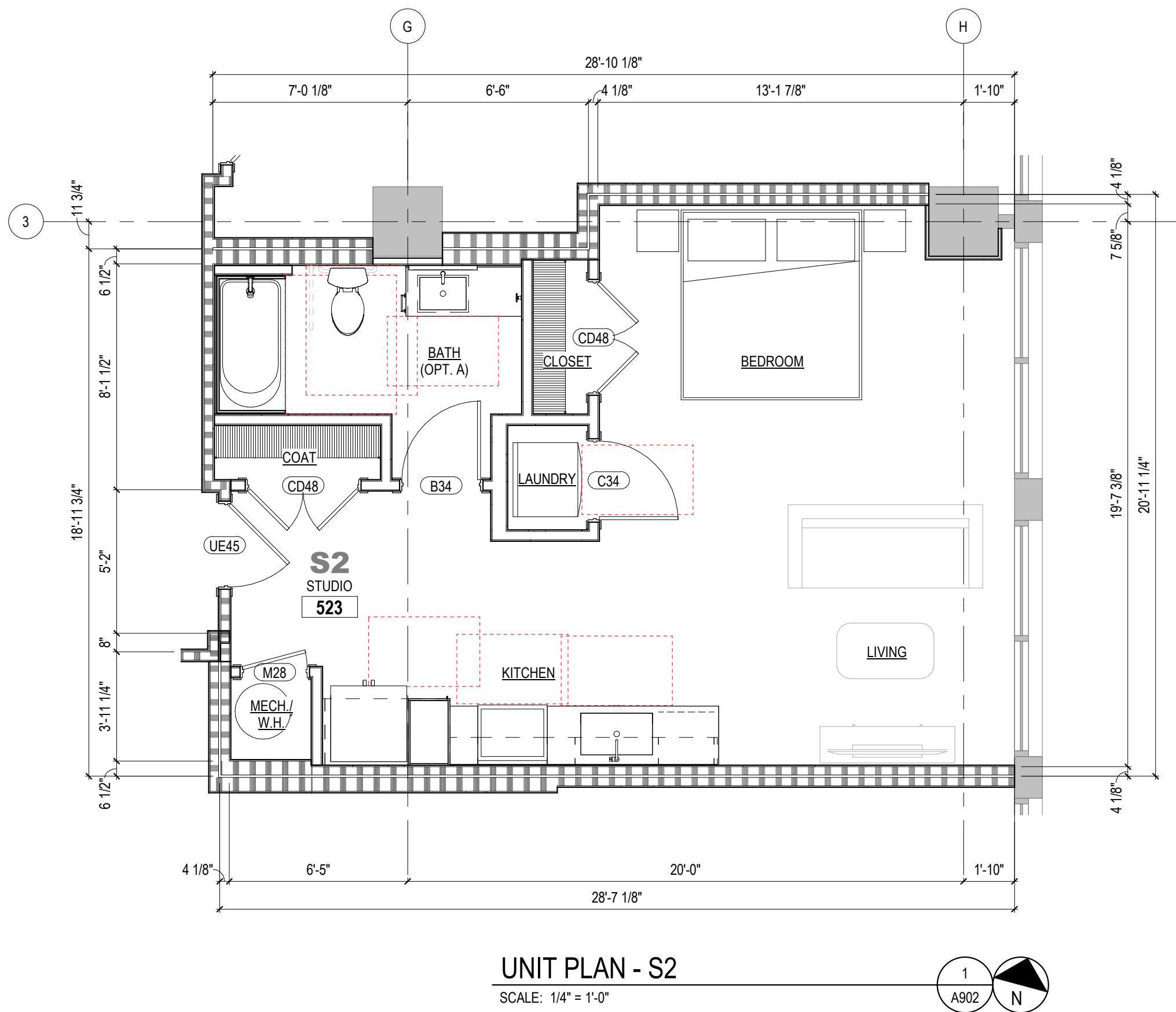
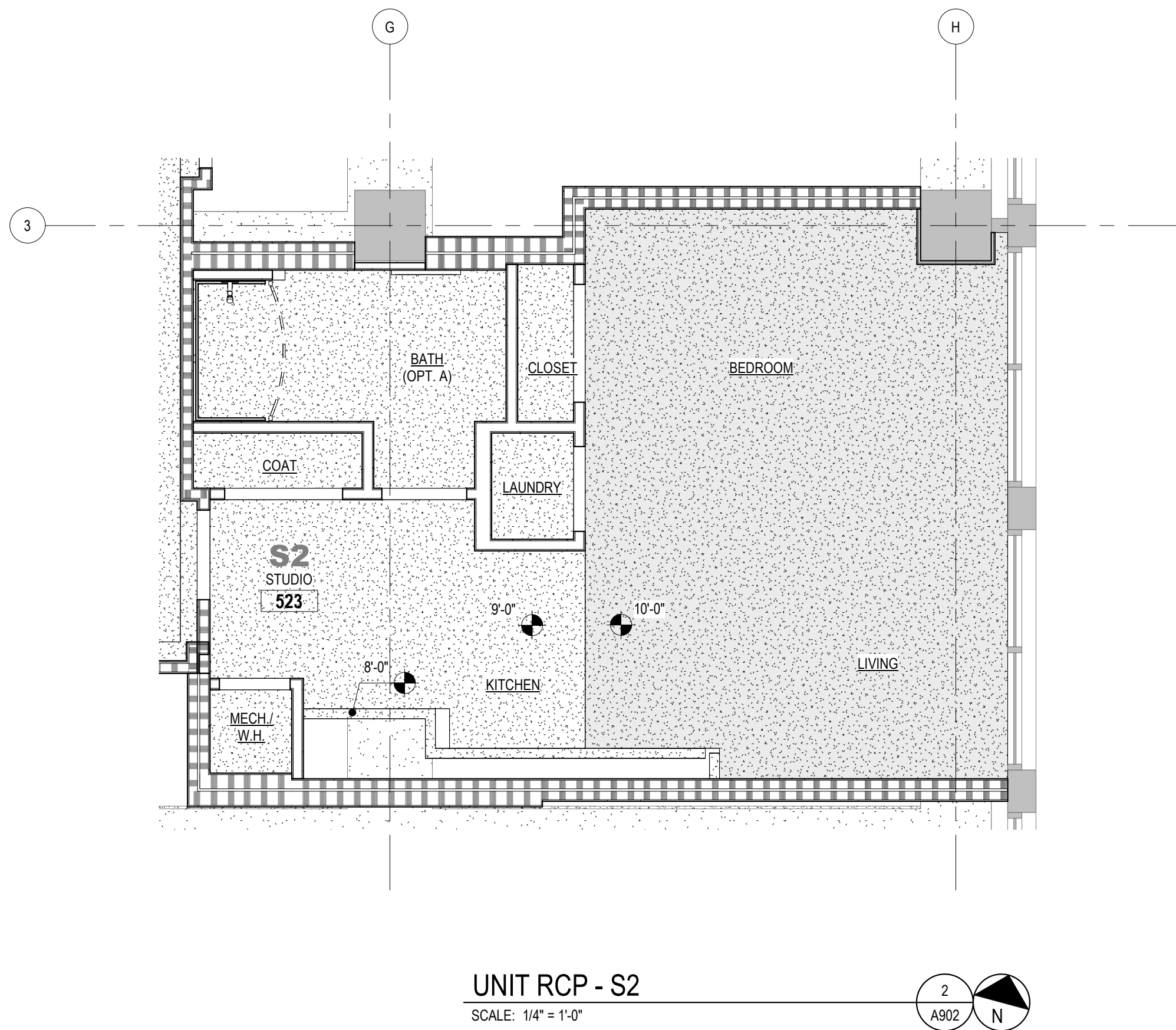
201 E 4TH ST. CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - S1	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET A901	





GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET **A900 & A901** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR, & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
T. PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
Z. ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
2. ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

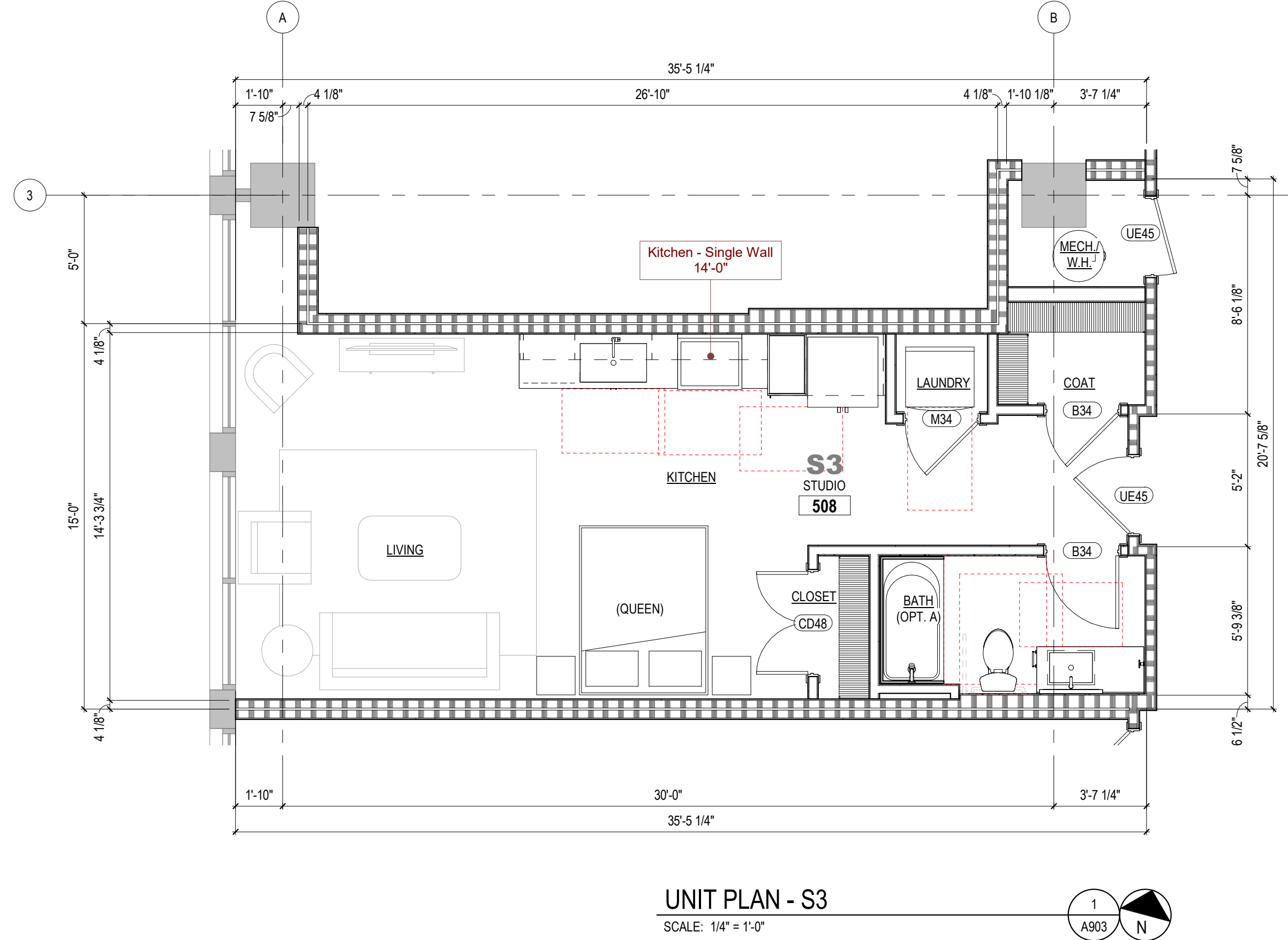
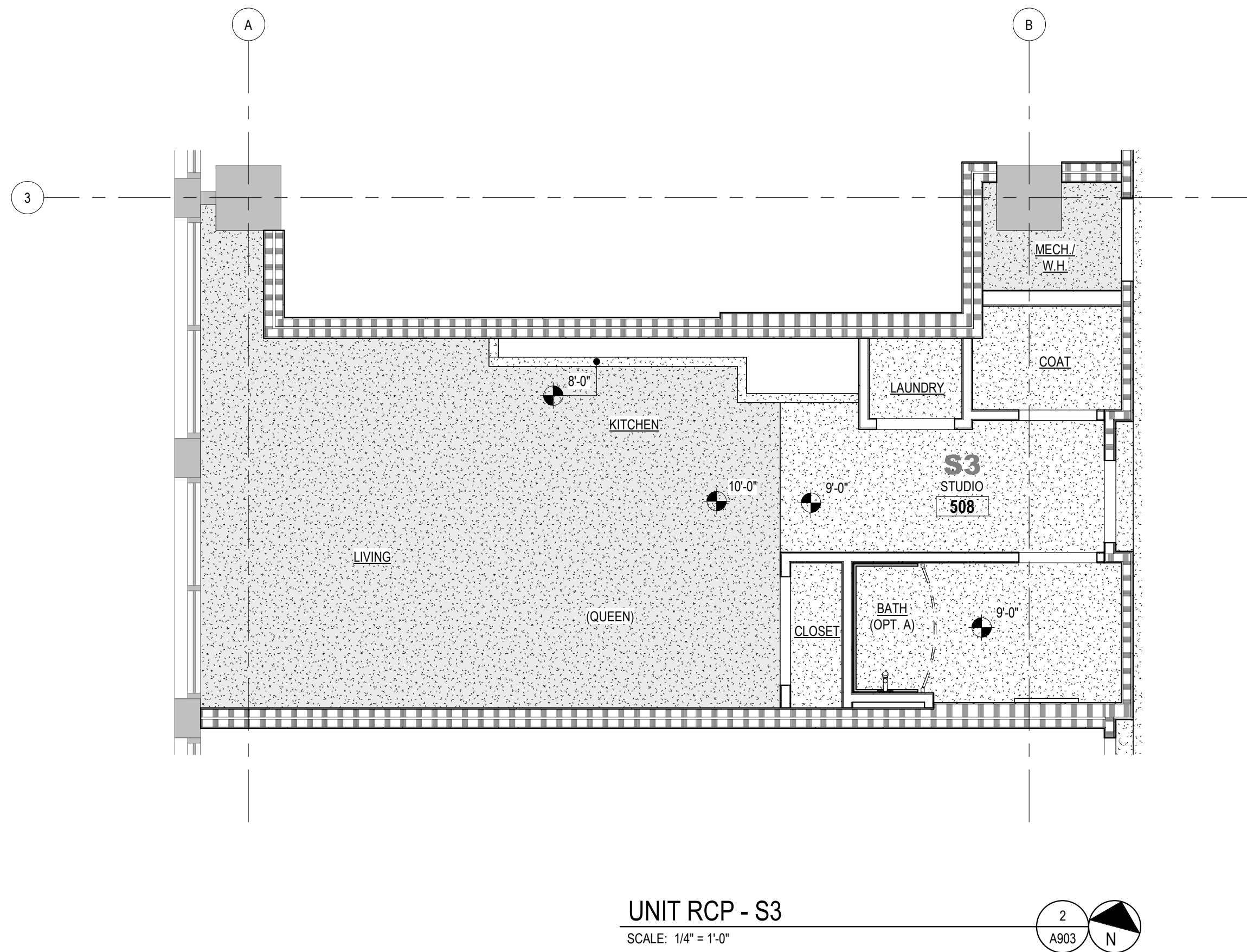
SHEET TITLE

UNIT PLANS AND ELEVATIONS - S2

SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET	

A902





GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
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- D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
- F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
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- J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- O. REFER TO SHEET **A900 & A901** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
- P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
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- V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
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- Z. ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
- AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

? KEYNOTES

(X) DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- ▨ LUXURY VINYL TILE
- ▨ CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

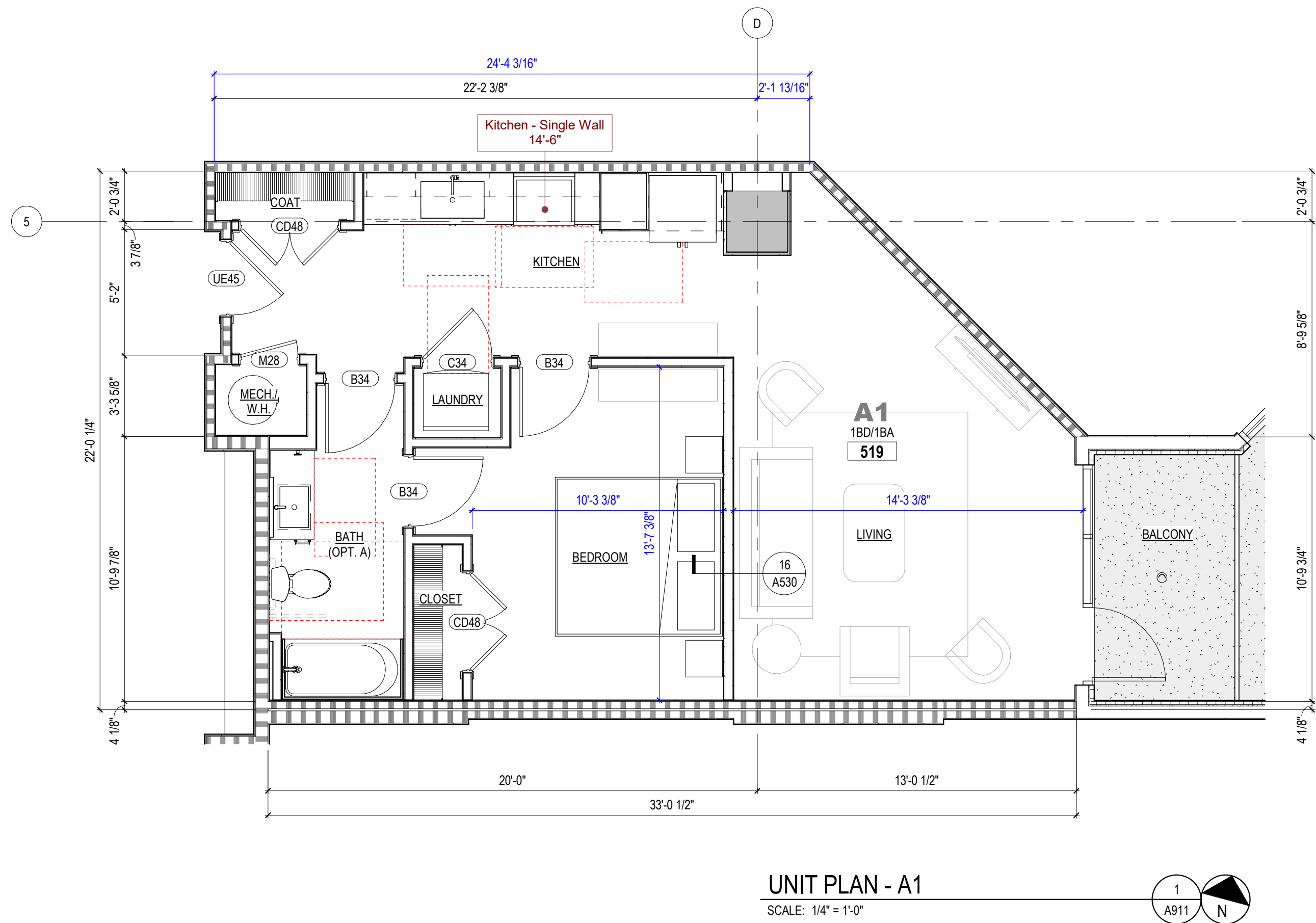
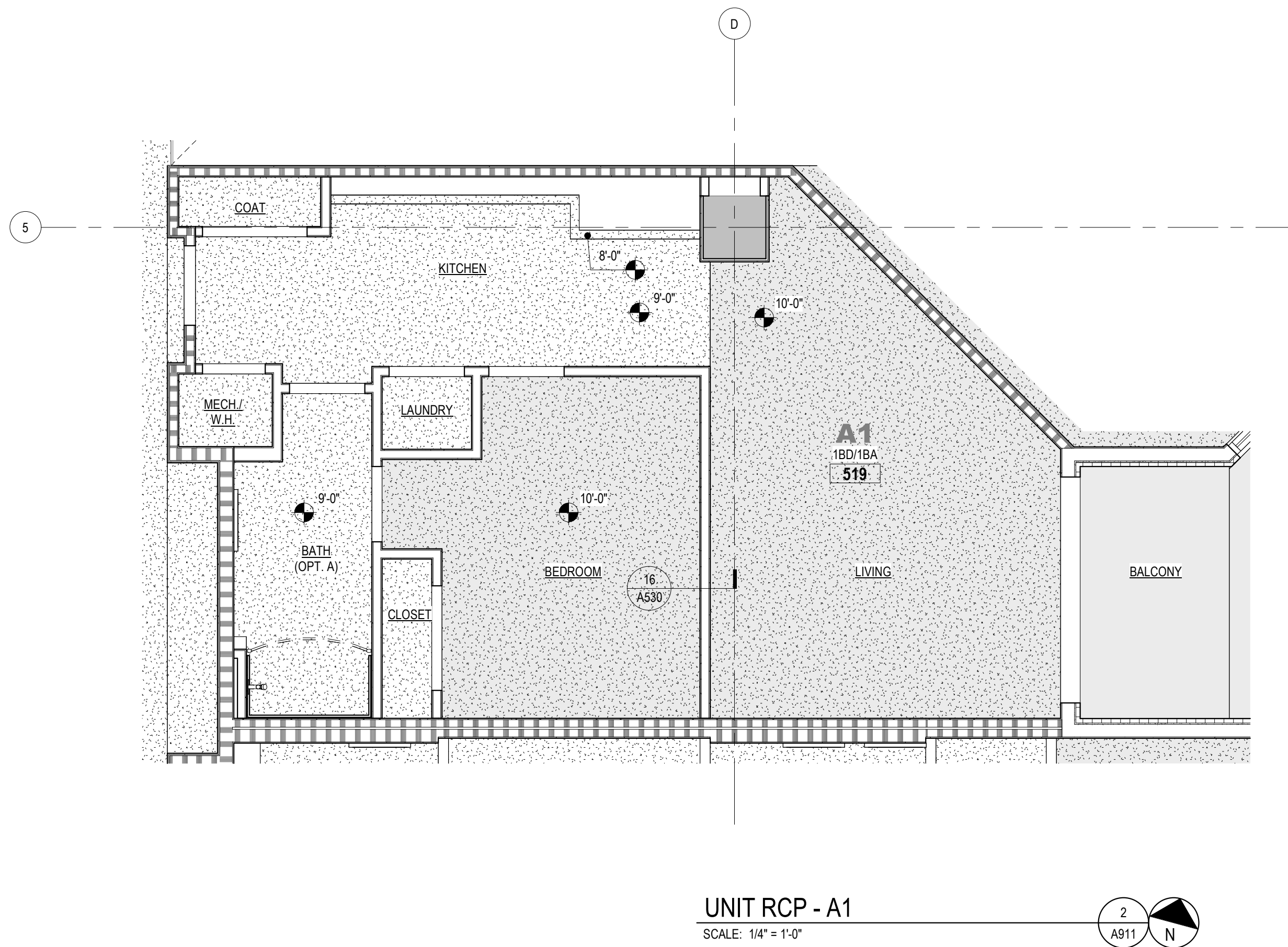
ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - S3	
SHEET SIZE 30" x 42"	COMM. NO. E-12654
DRAWN BY DY	DATE 03/06/2025
SHEET A903	



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND OR INSTALLATION.
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- F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
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- K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
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- O. REFER TO **SHEET A900 & A901** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
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- T. PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
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- V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
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- Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- Z. ALL SHOWER & BATHTUB TO BE 36" X 60", U.N.O.
- AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
2. ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

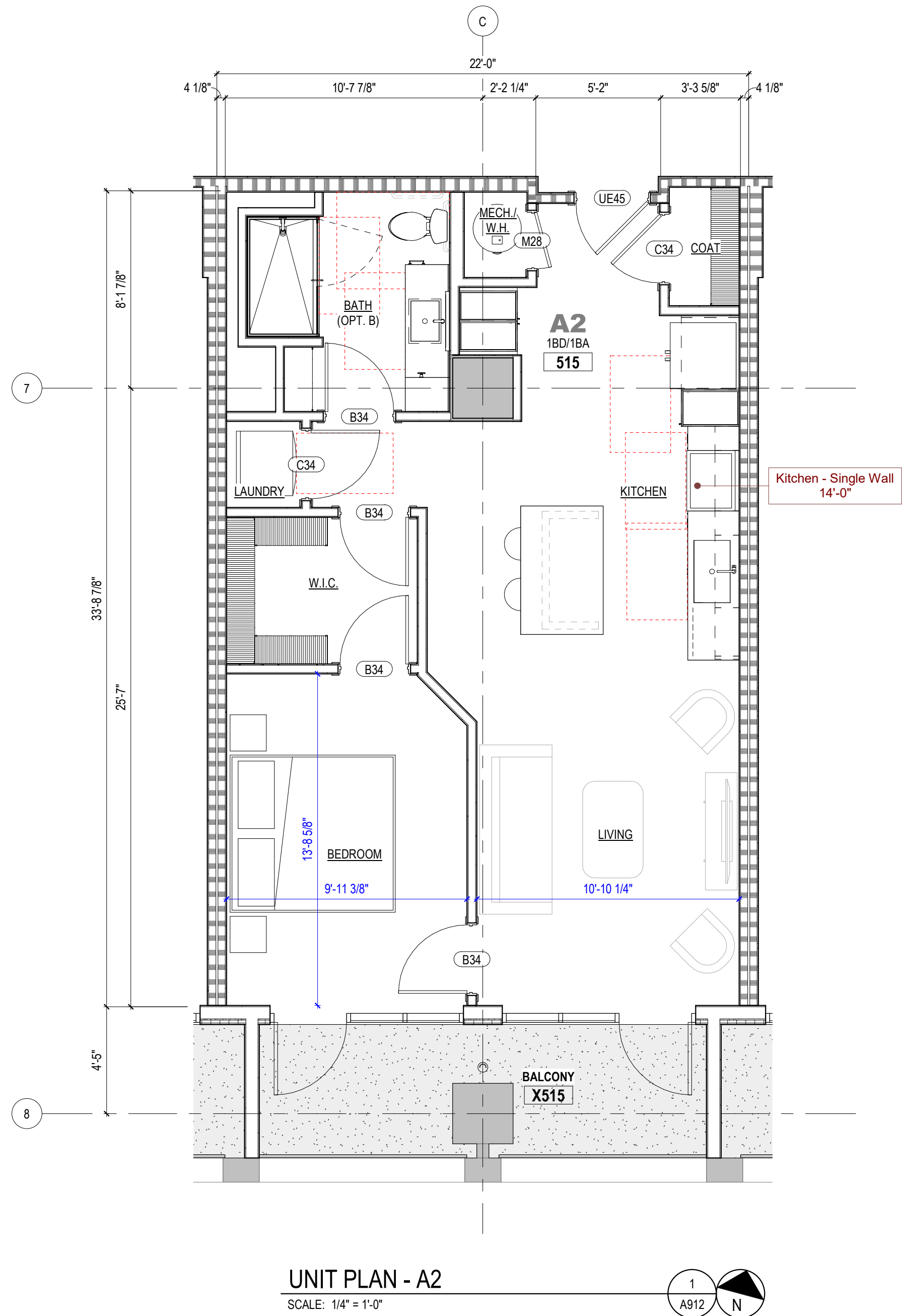
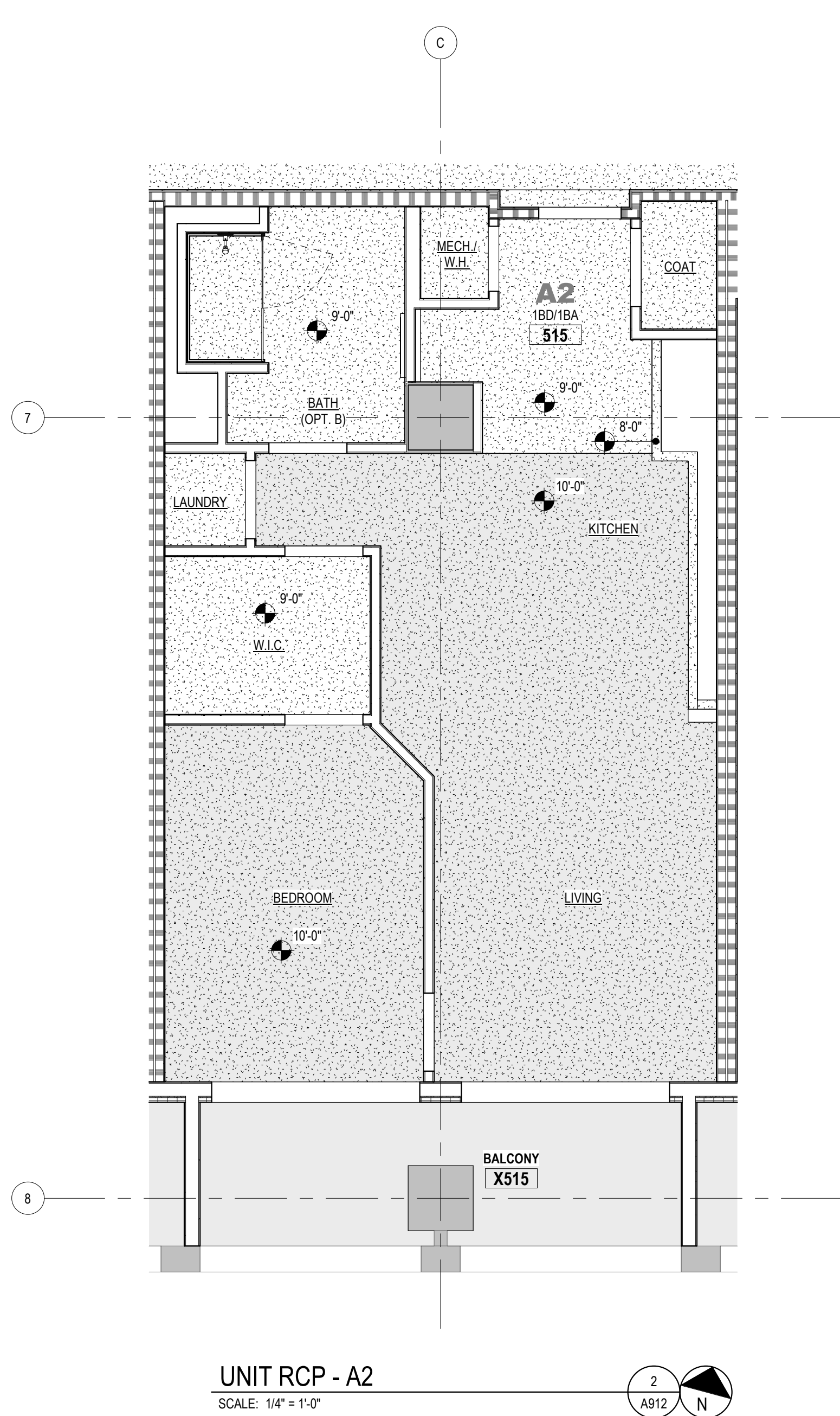
ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A1	
SHEET SIZE 30" x 42"	COMM. NO. E-12654
DRAWN BY DY	DATE 03/06/2025
SHEET # A911	



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
- ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
- FURNITURE IS NOT IN CONTRACT.
- REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- REFER TO SHEET **A100 & A101** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR, & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
- PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

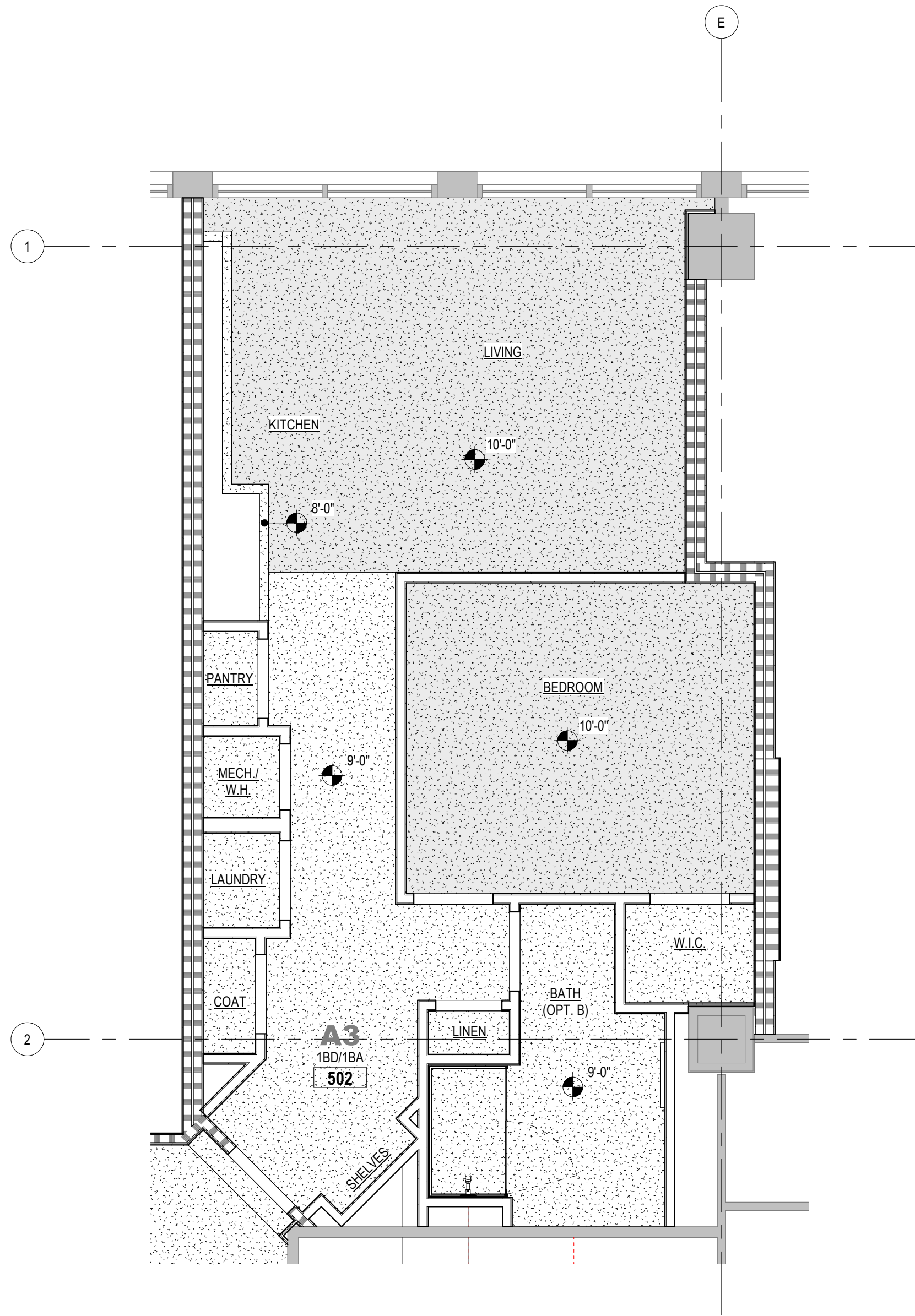
SHEET TITLE

UNIT PLANS AND ELEVATIONS - A2

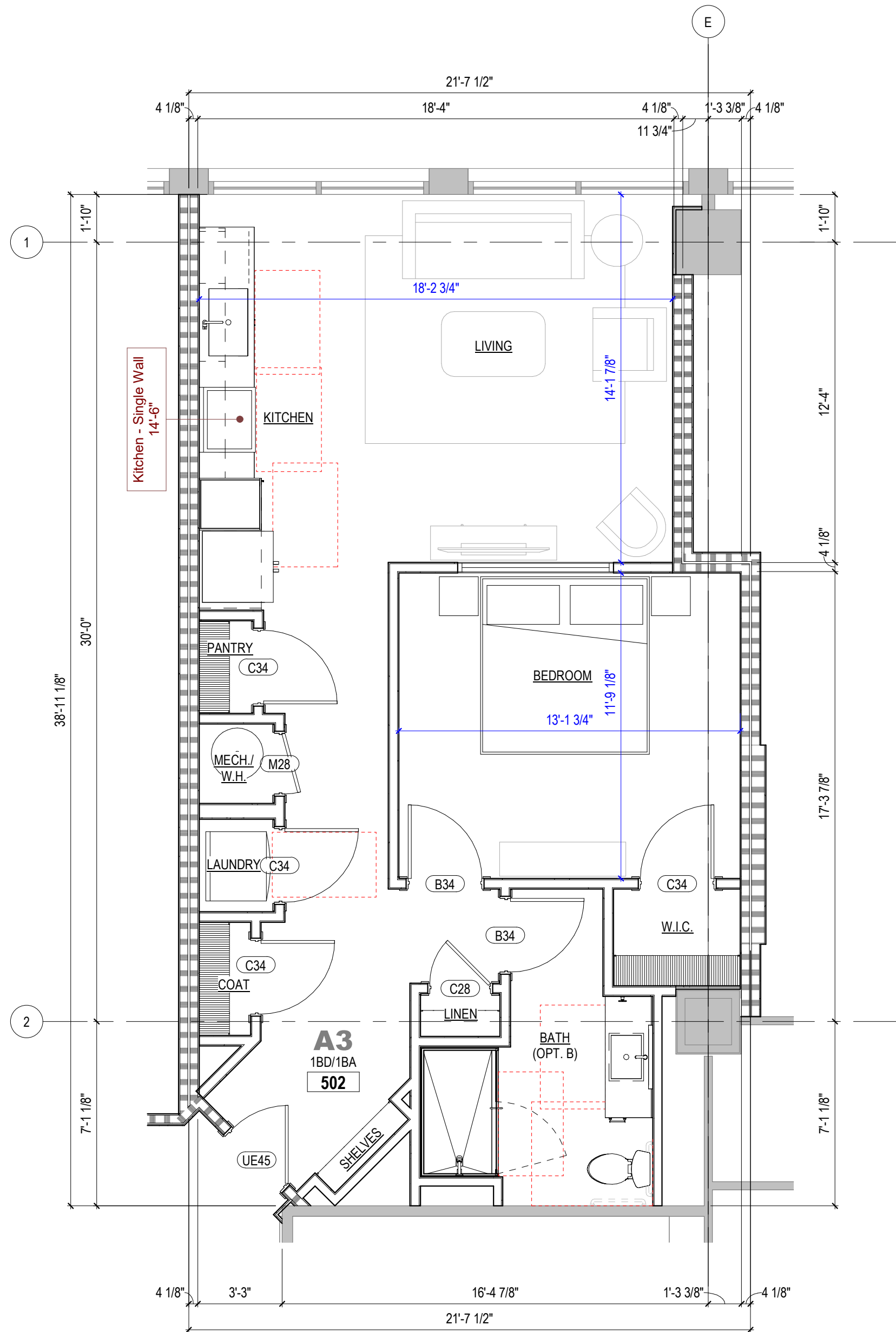
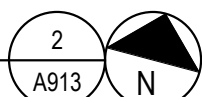
SHEET SIZE	30" x 42"	COMM. NO.	E-12854
DRAWN BY	DY	DATE	03/06/2023

A912

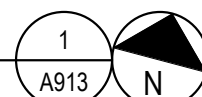




UNIT RCP - A3
SCALE: 1/4" = 1'-0"



UNIT PLAN - A3
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET A100 & A101 FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT QWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
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V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
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BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

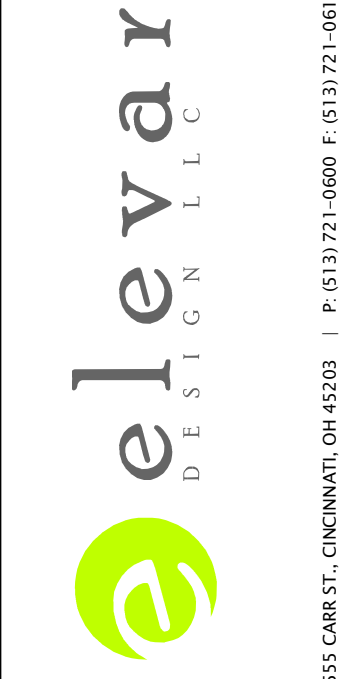
ACABAY INC.

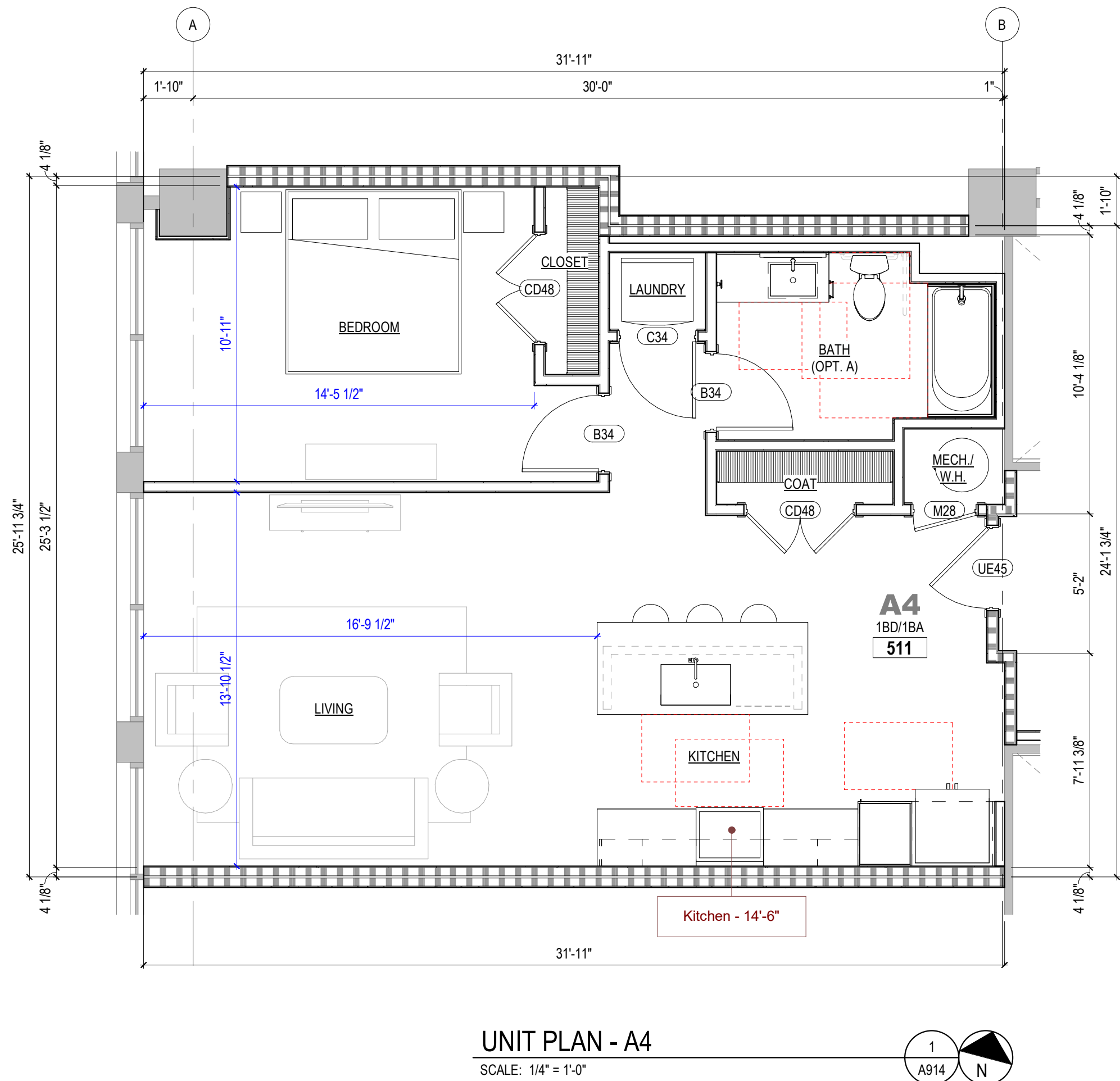
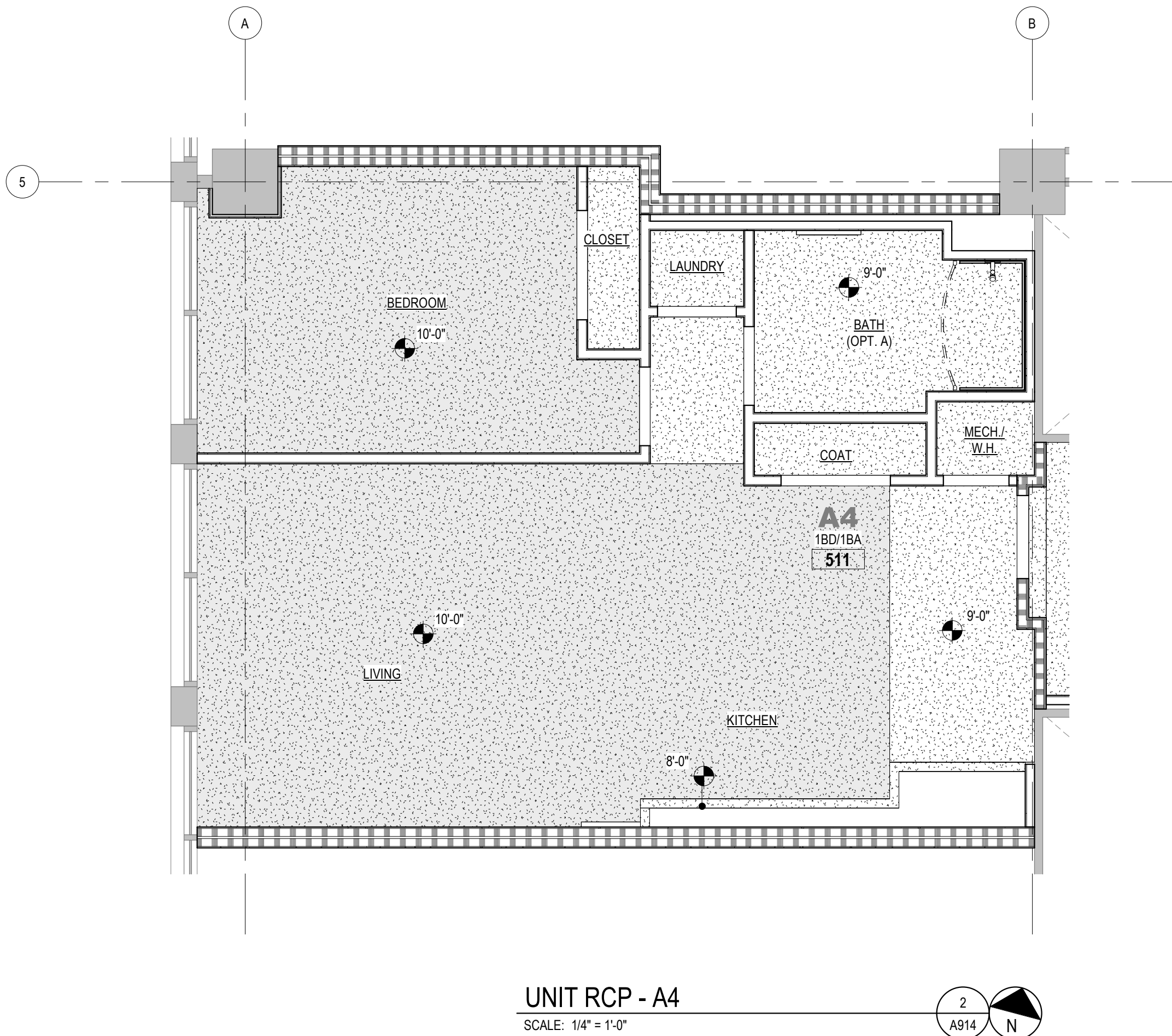
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A3	
SHEET SIZE 30" x 42"	COMM. No. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET A913	





GENERAL NOTES

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- PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

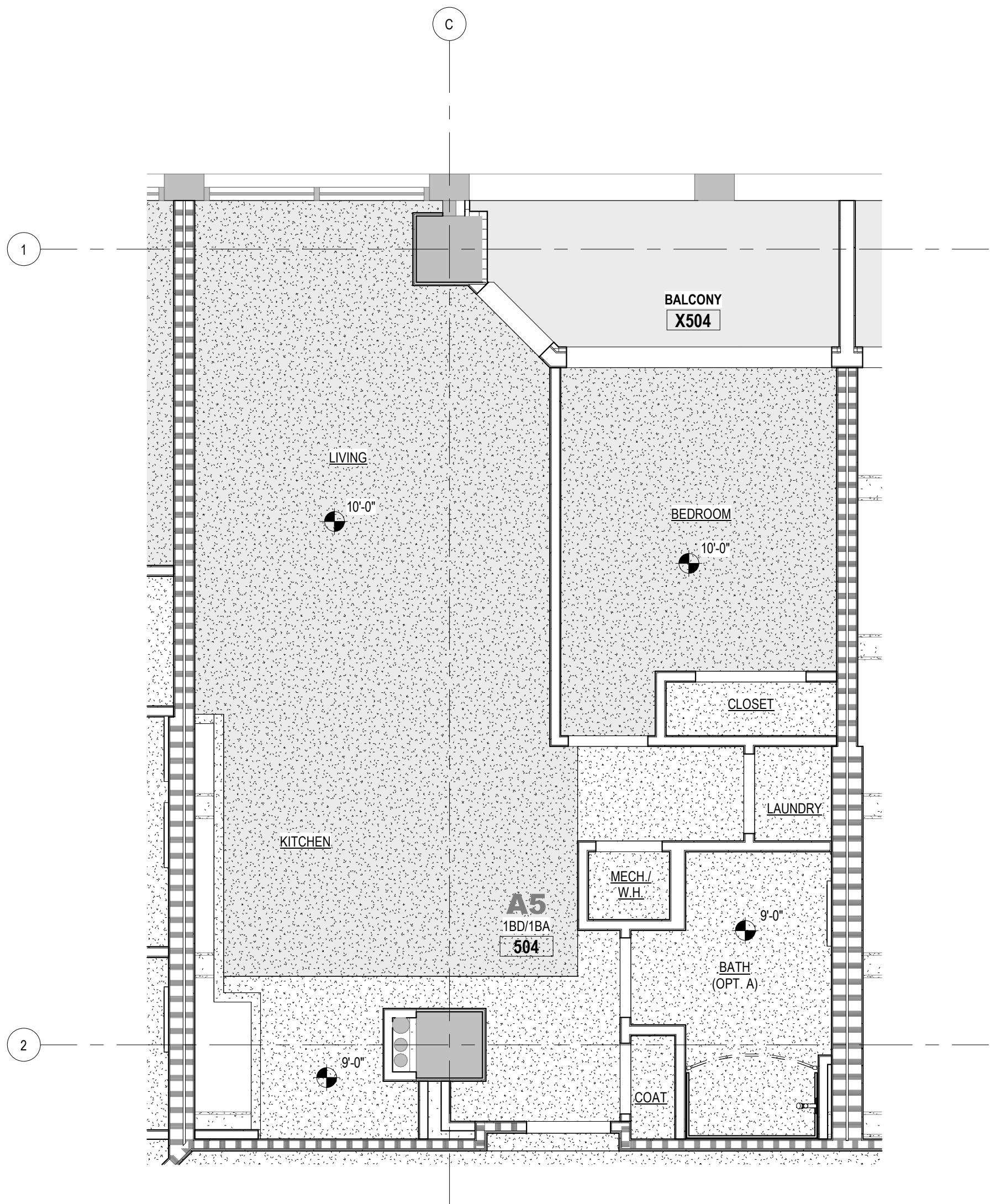
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

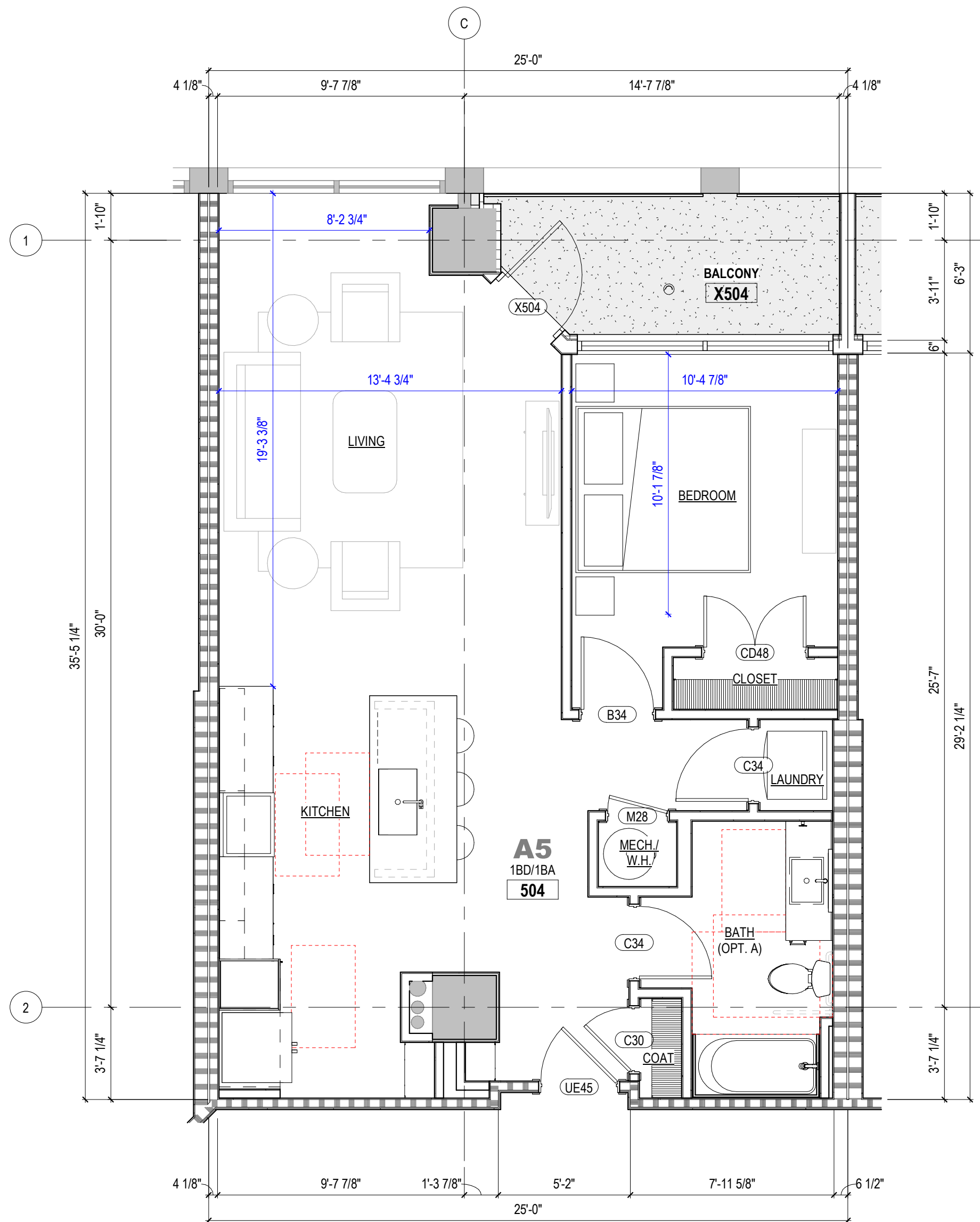
ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A4	
SHEET SIZE 30" x 42"	COMM. No. E-12854
DRAWN BY DY	DATE 03/06/2023
SHEET A914	

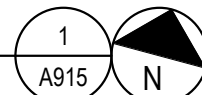




UNIT RCP - A5
SCALE: 1/4" = 1'-0"



UNIT PLAN - A5
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND OR INSTALLATION.
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E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
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G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
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N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET **A100 & A101** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
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Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
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? KEYNOTES

(X) DRAWING NOTES

ACCESSORY SCHEDULE

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LEGEND

- AIR SUPPLY REGISTER
○ LIGHTING FIXTURE
□ LUXURY VINYL TILE
■ CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

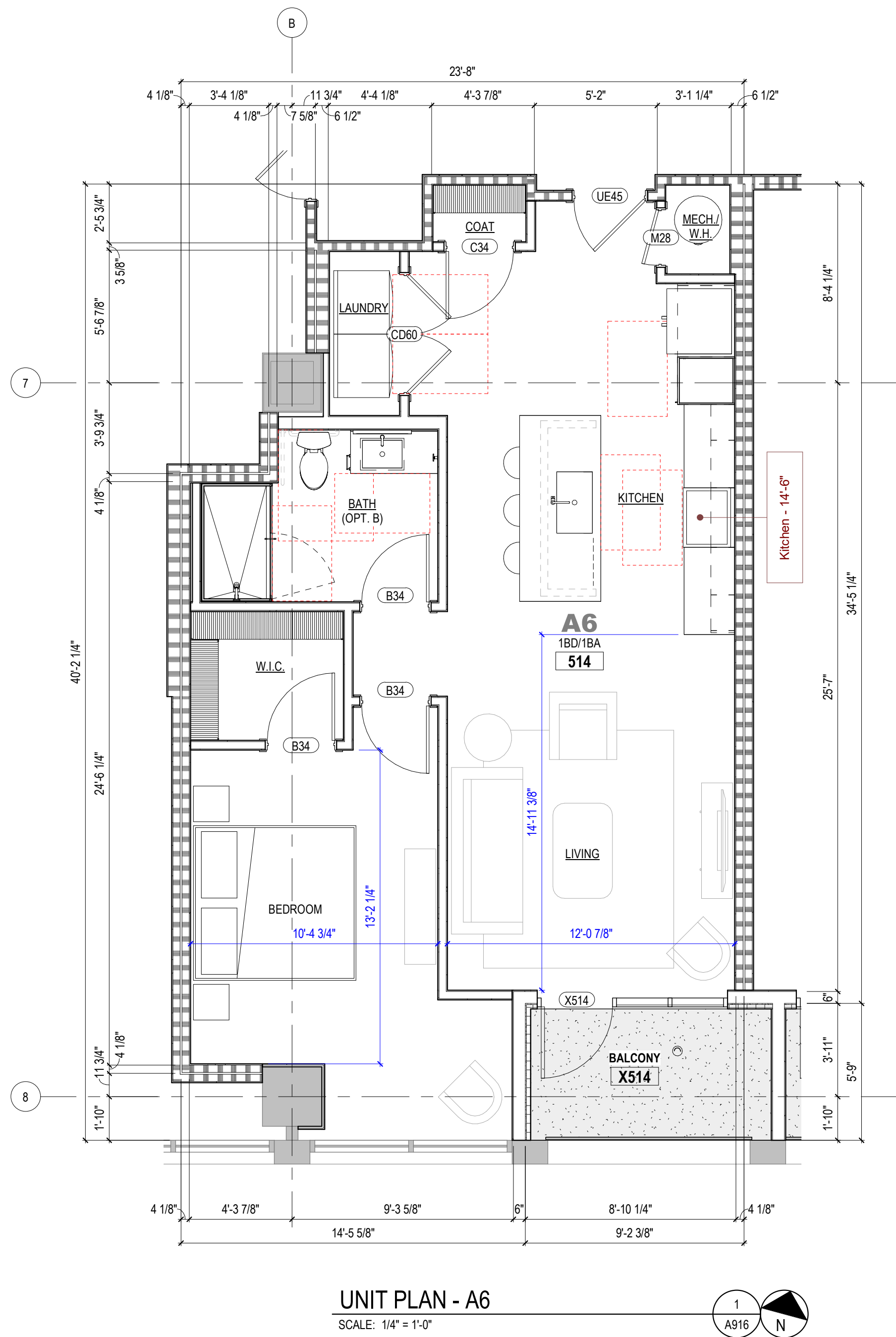
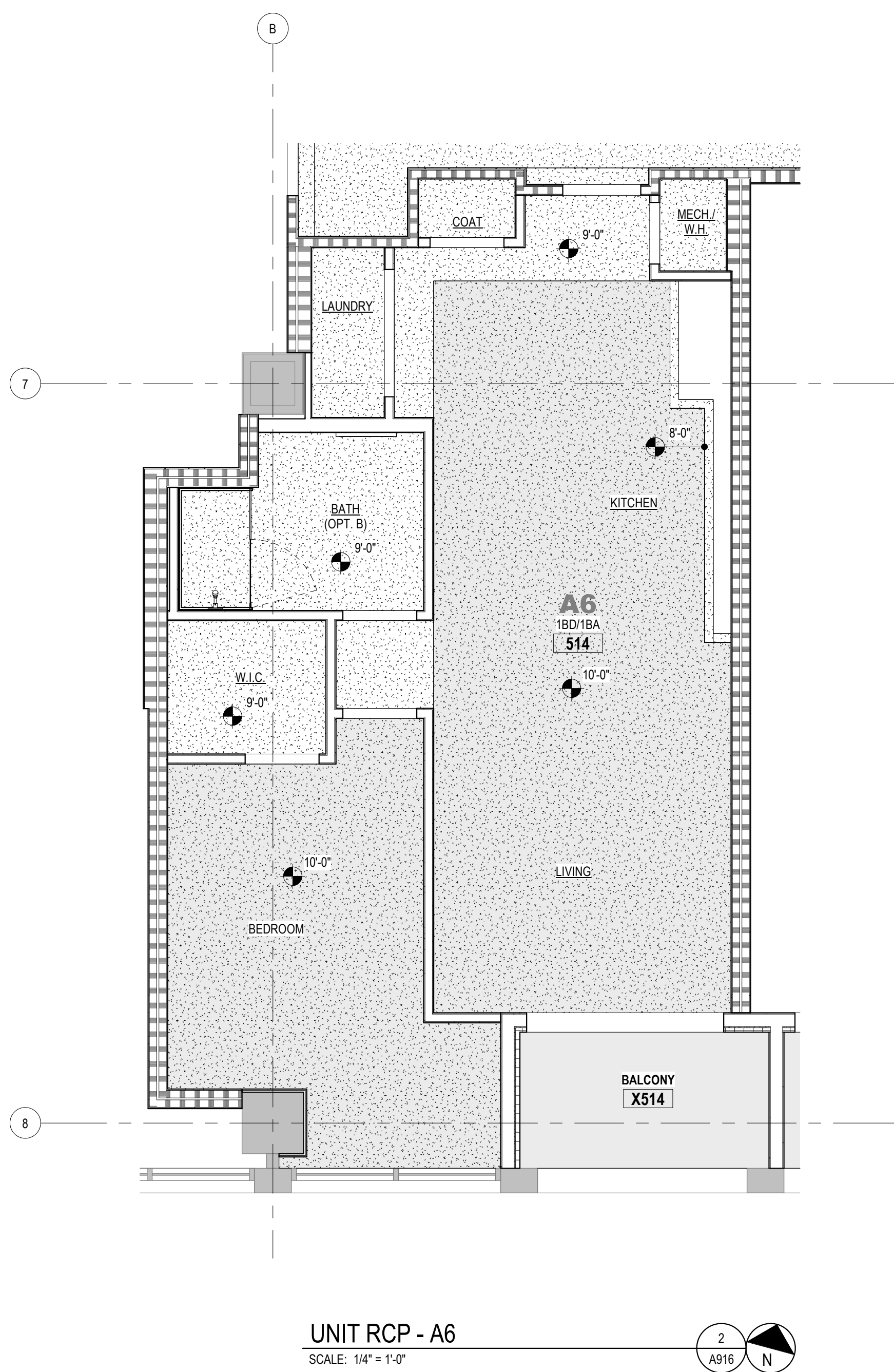
NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A5	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2023
SHEET	

A915





GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
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Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
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S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
T. PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
Z. ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
2. ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

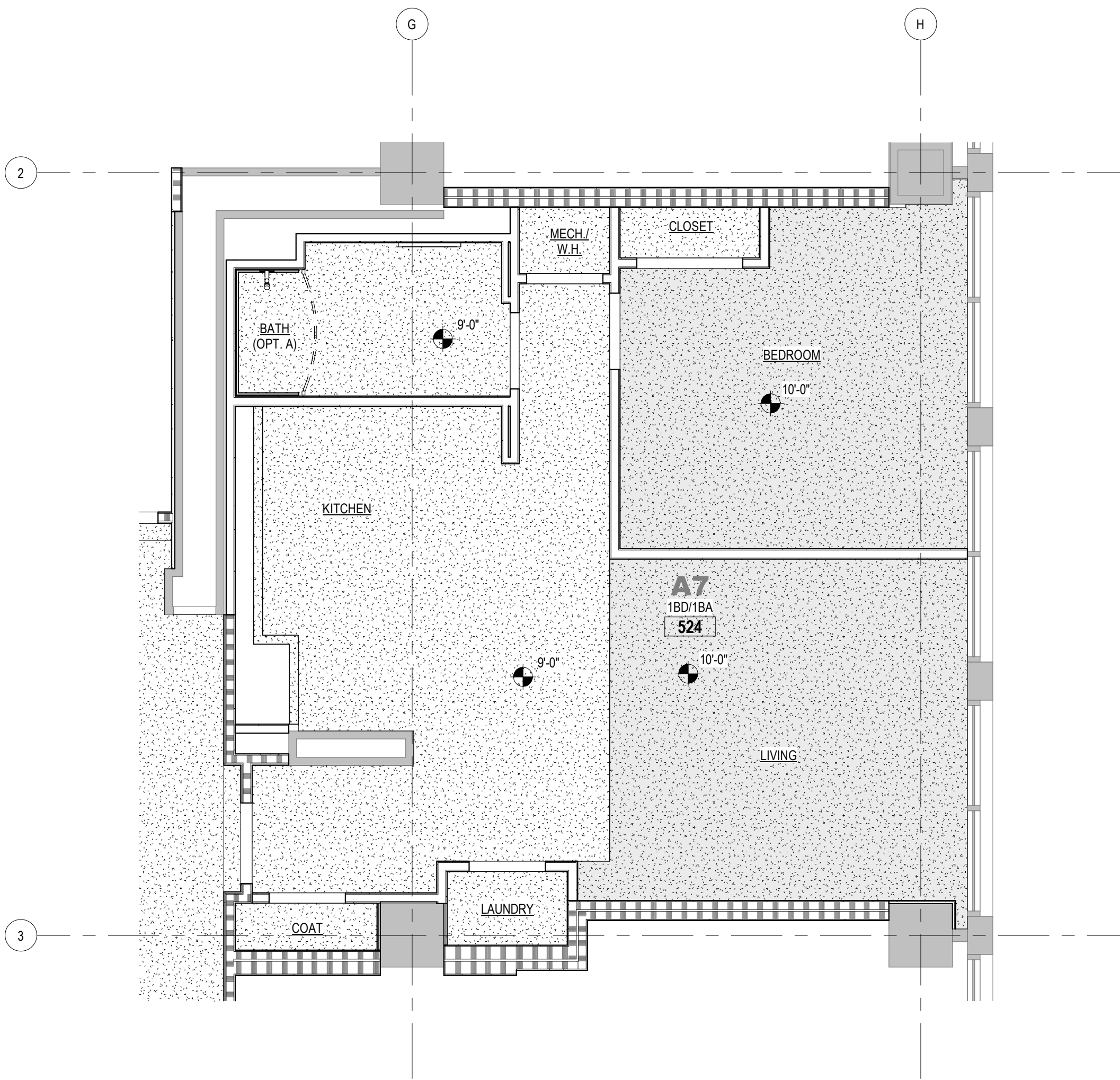
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

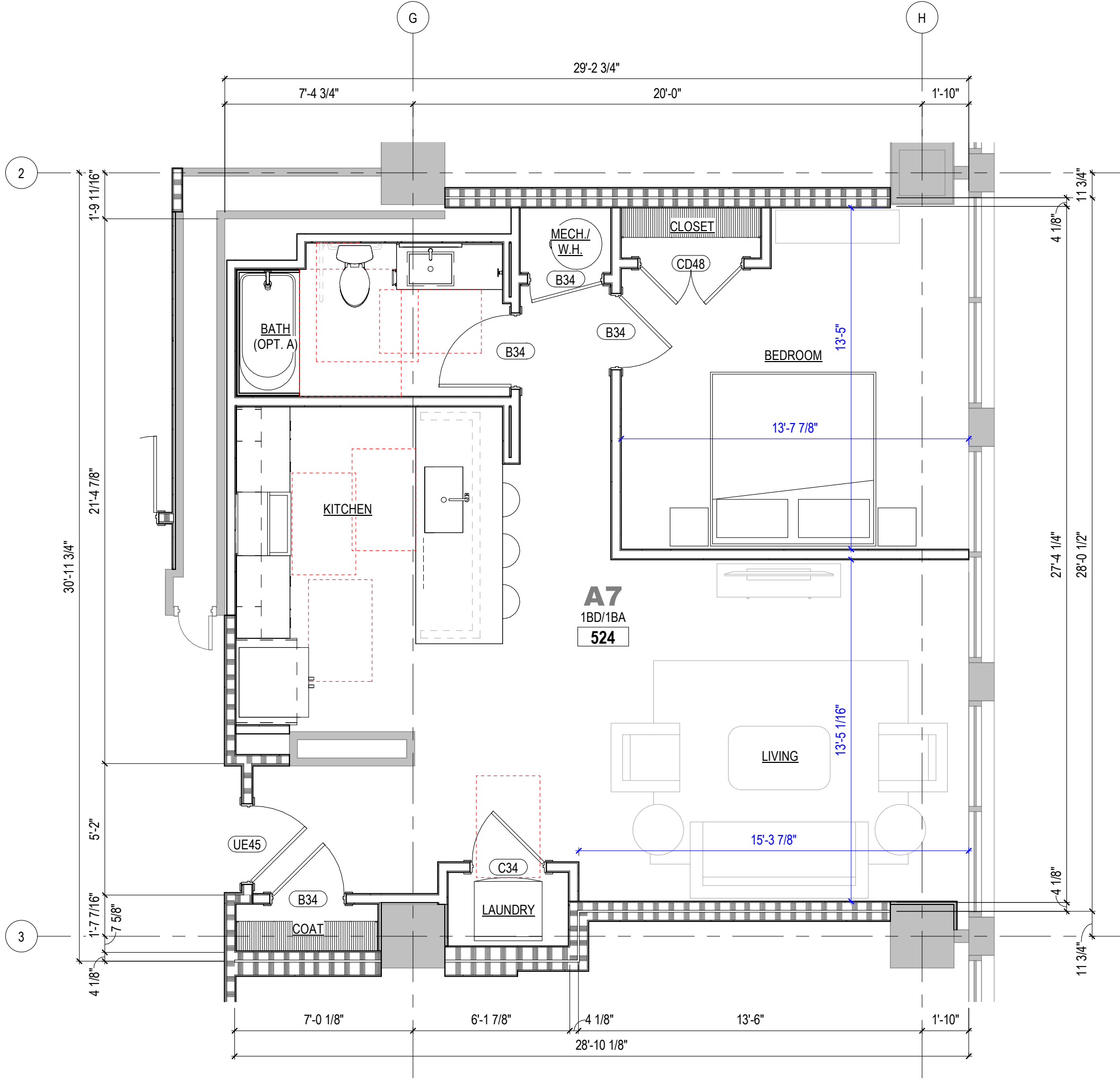
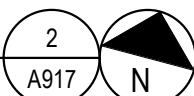
ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A6	
SHEET SIZE 30" x 42"	COMM. No. E-12854
DRAWN BY DY	DATE 03/06/2023
SHEET A916	

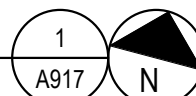




UNIT RCP - A7
SCALE: 1/4" = 1'-0"



UNIT PLAN - A7
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND OR INSTALLATION.
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET **A910 & A911** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
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V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
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Z. ALL SHOWERS & BATHTUB TO BE 36" X 60", U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

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LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

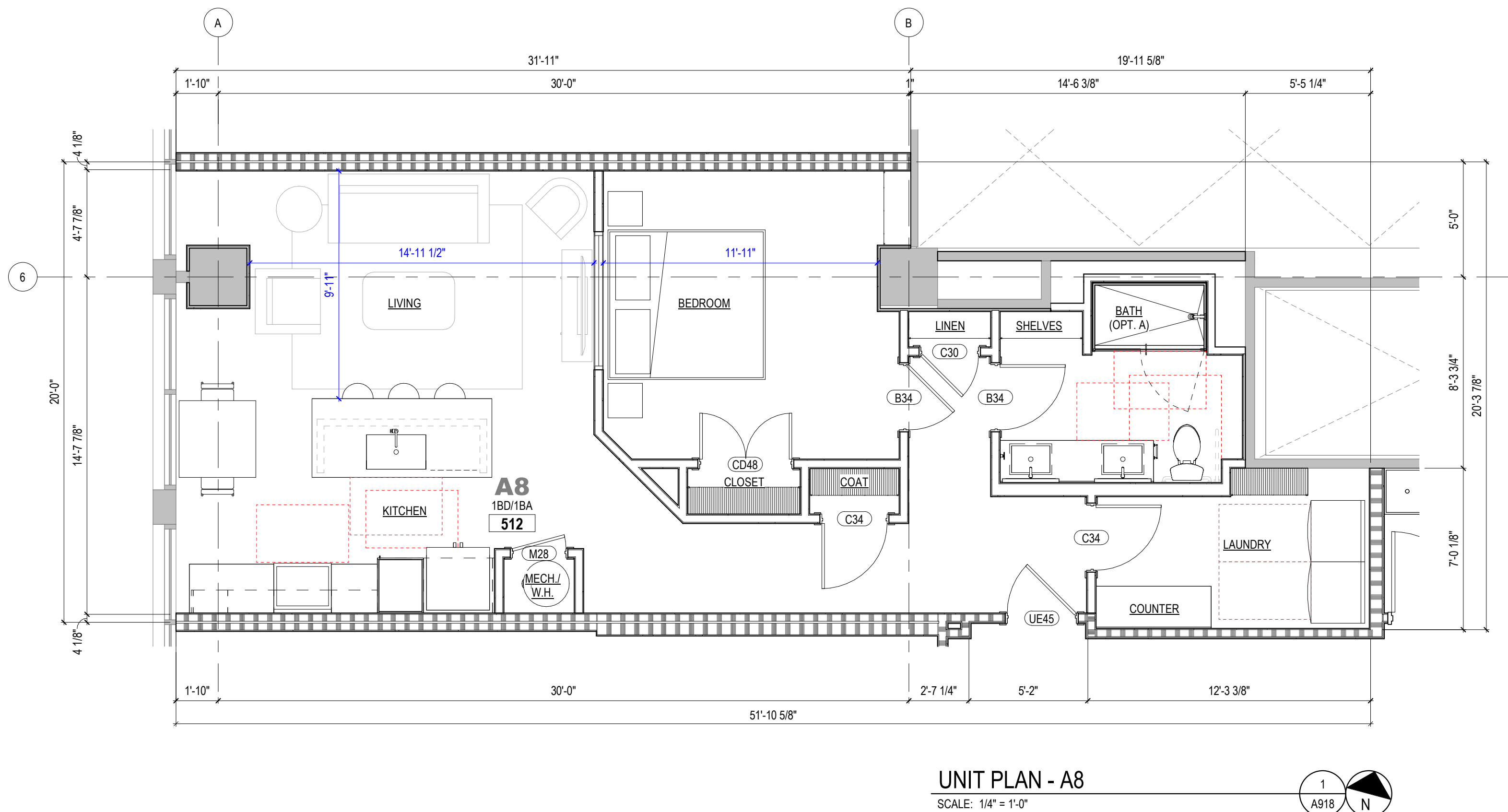
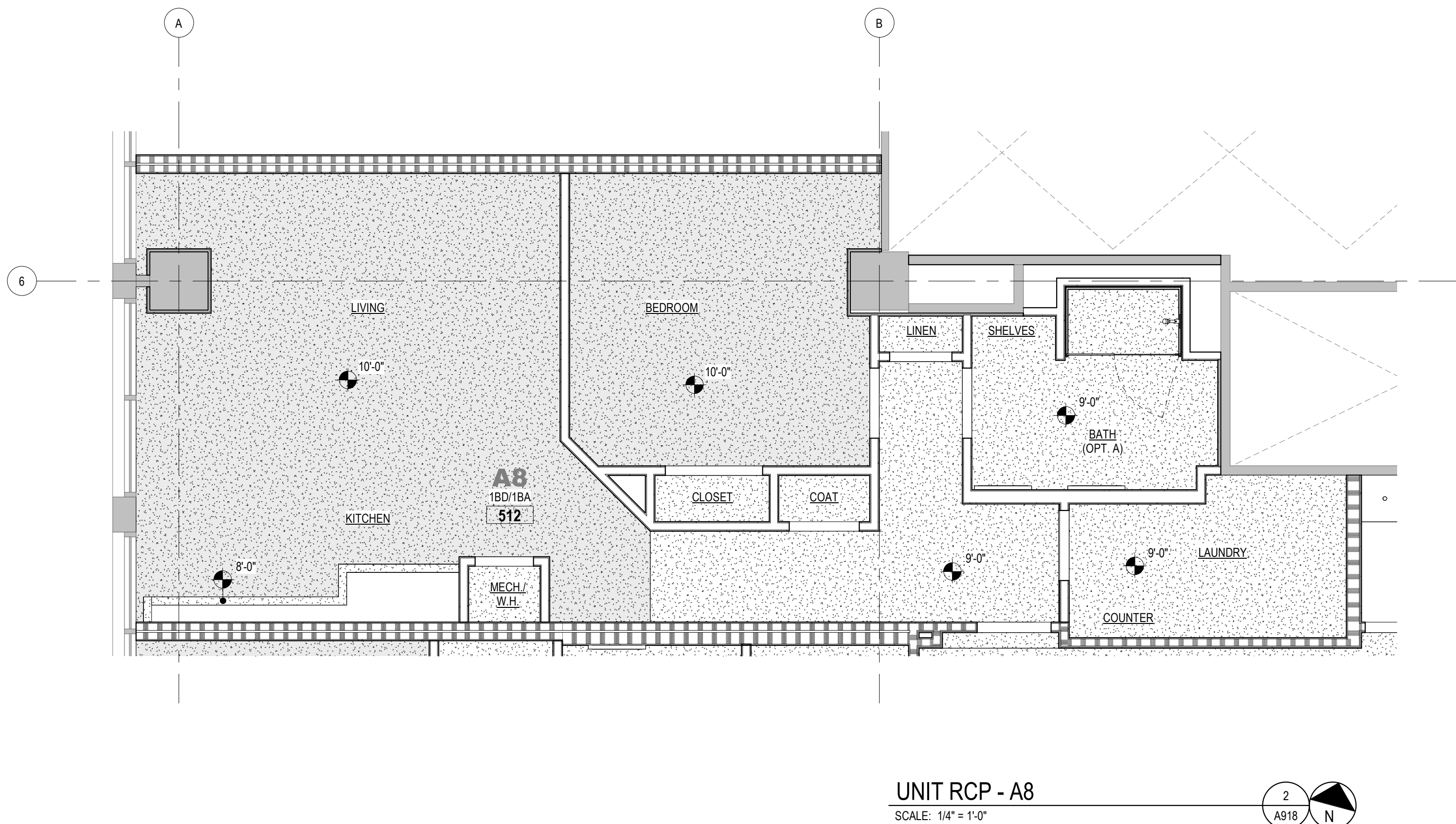
NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A7	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2025
SHEET	

A917





GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND OR INSTALLATION.
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- D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
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- K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- O. REFER TO SHEET A900 & A901 FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
- P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
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- V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
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- AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

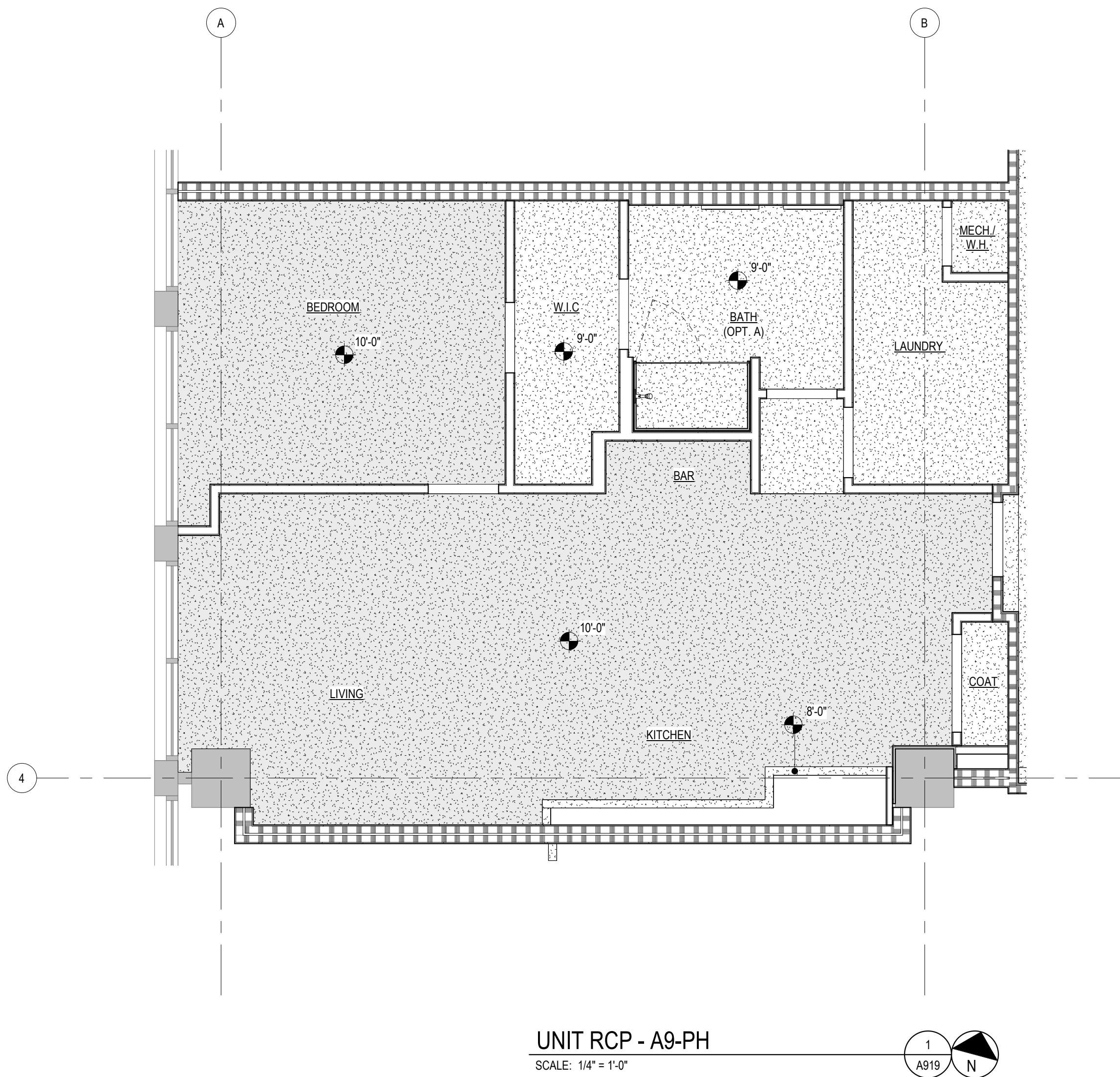
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

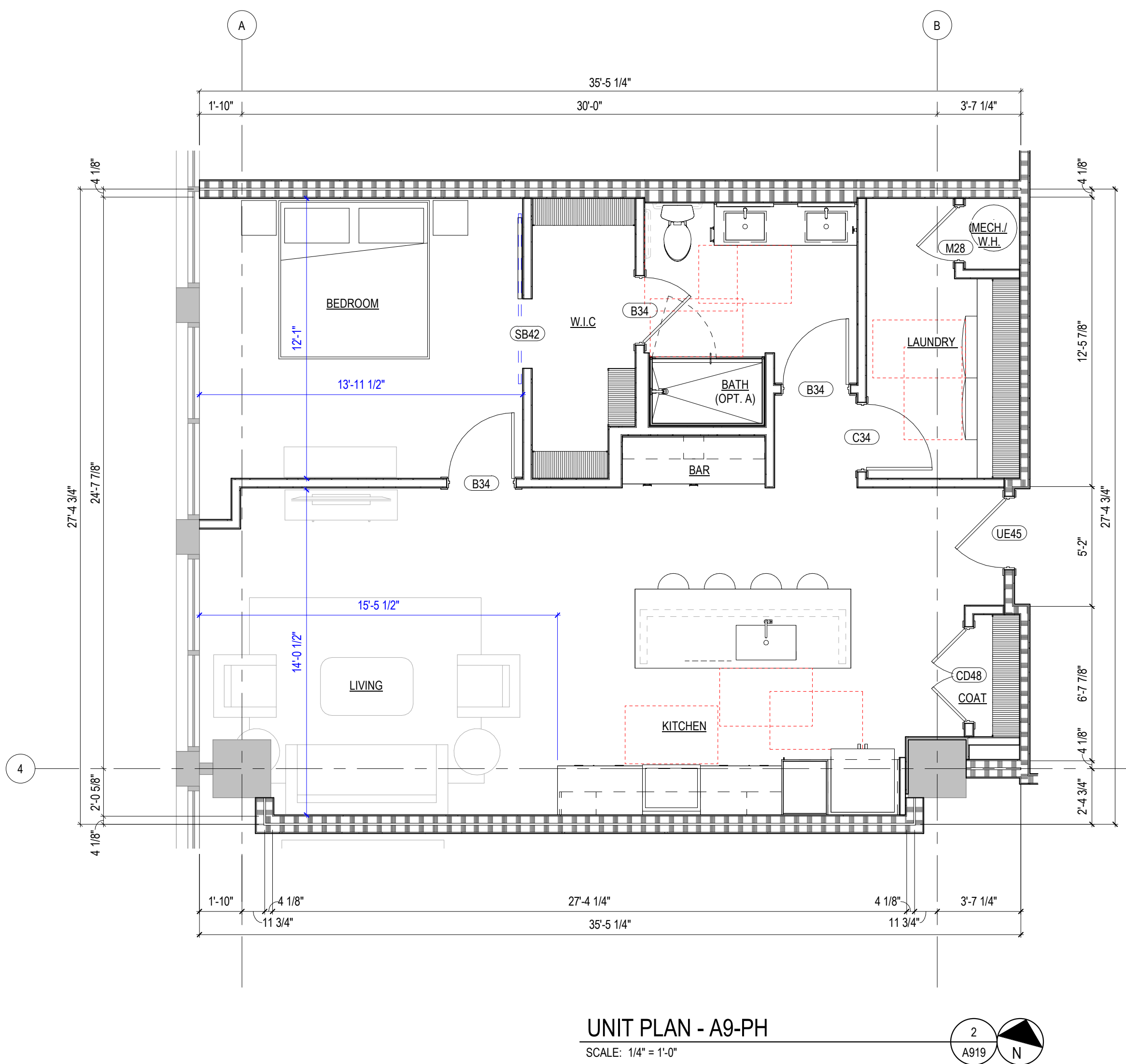
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A8	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET A918	





UNIT RCP - A9-PH
SCALE: 1/4" = 1'-0"



UNIT PLAN - A9-PH
SCALE: 1/4" = 1'-0"

GENERAL NOTES

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B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
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D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
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K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
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BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

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LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14



201 E 4TH ST. CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

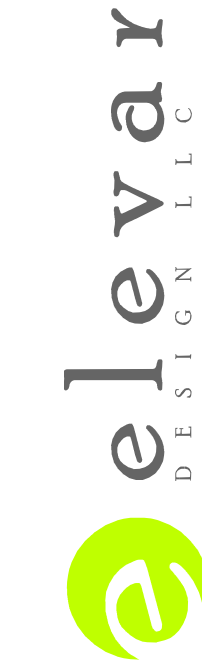
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ISSUED	DATE
SD SUBMITTAL	03/06/2025

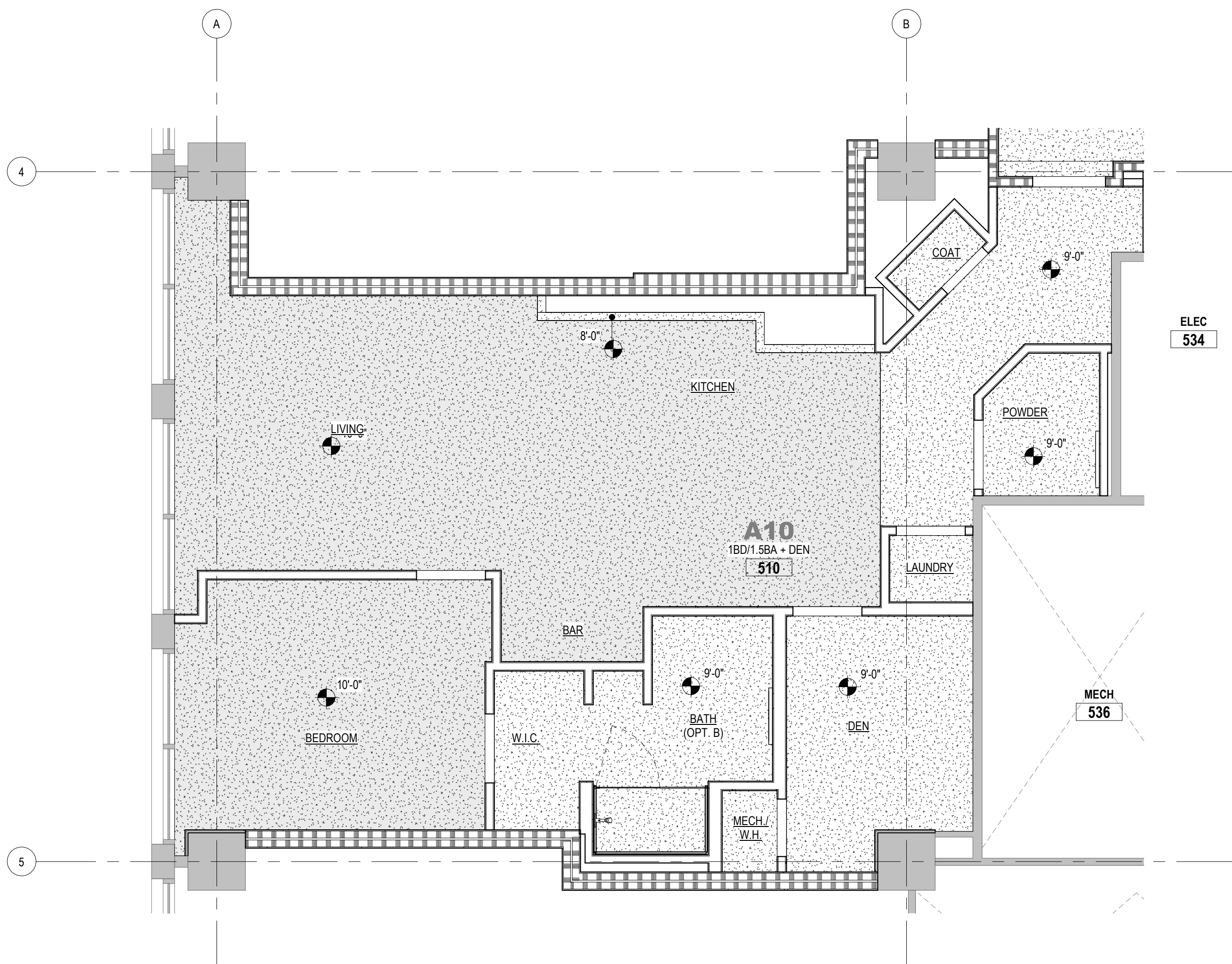
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UNIT PLANS AND ELEVATIONS - A9-PH

SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025

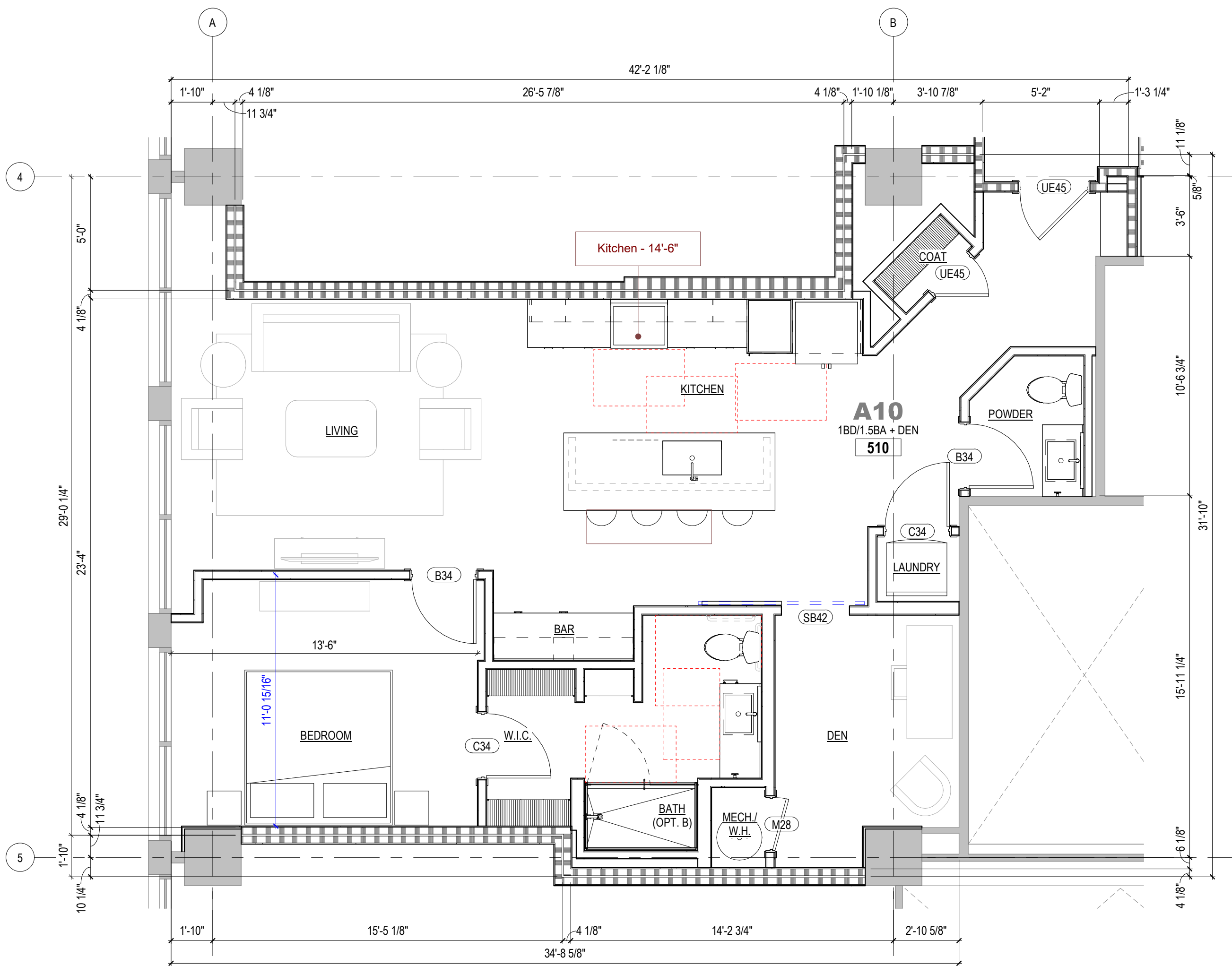
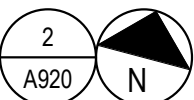
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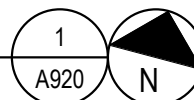
555 CARR ST., CINCINNATI, OH 45202 | P: 513.721-1488 | F: 513.721-5611



UNIT RCP - A10
SCALE: 1/4" = 1'-0"



UNIT PLAN - A10
SCALE: 1/4" = 1'-0"



GENERAL NOTES

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KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

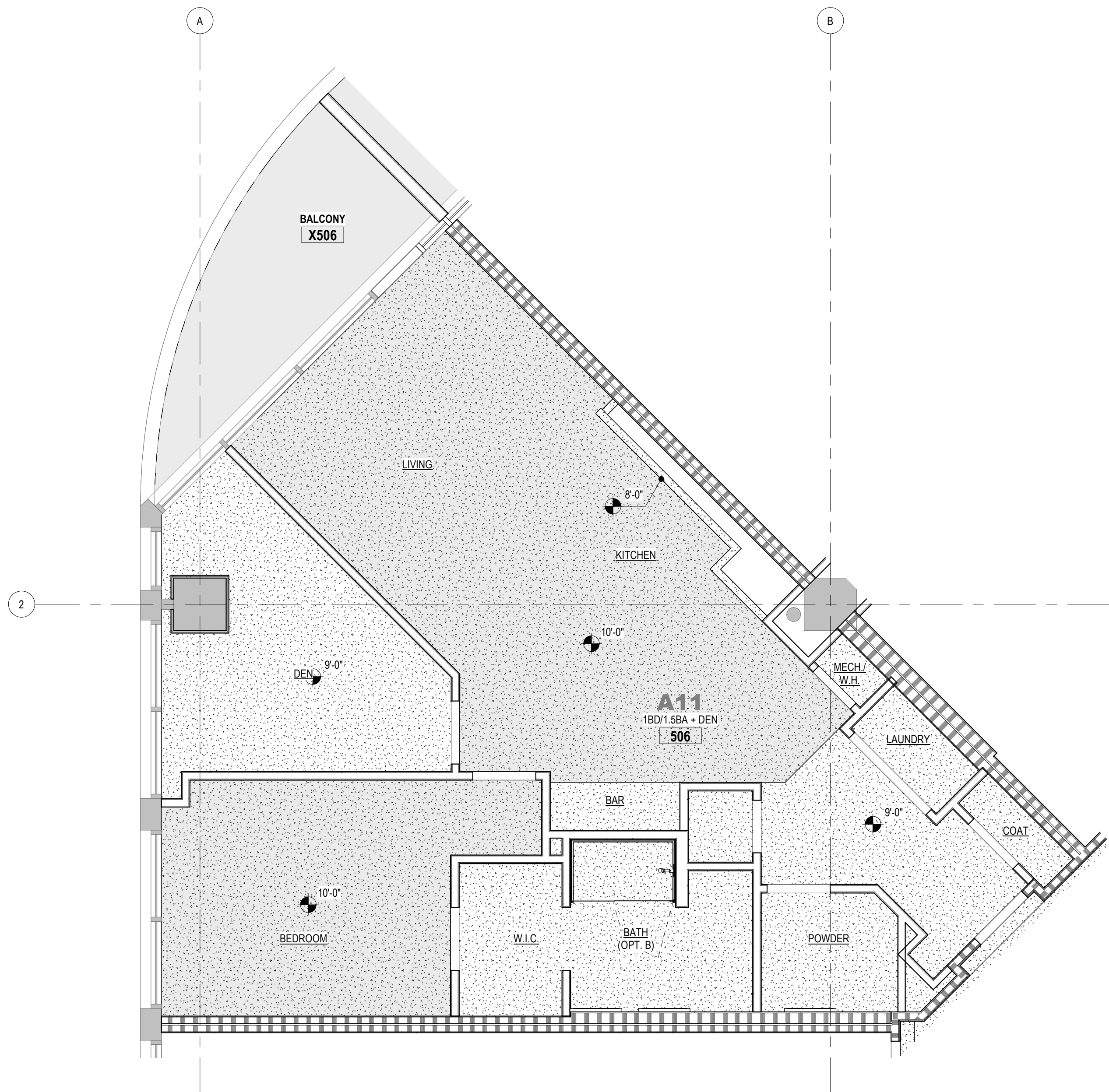
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

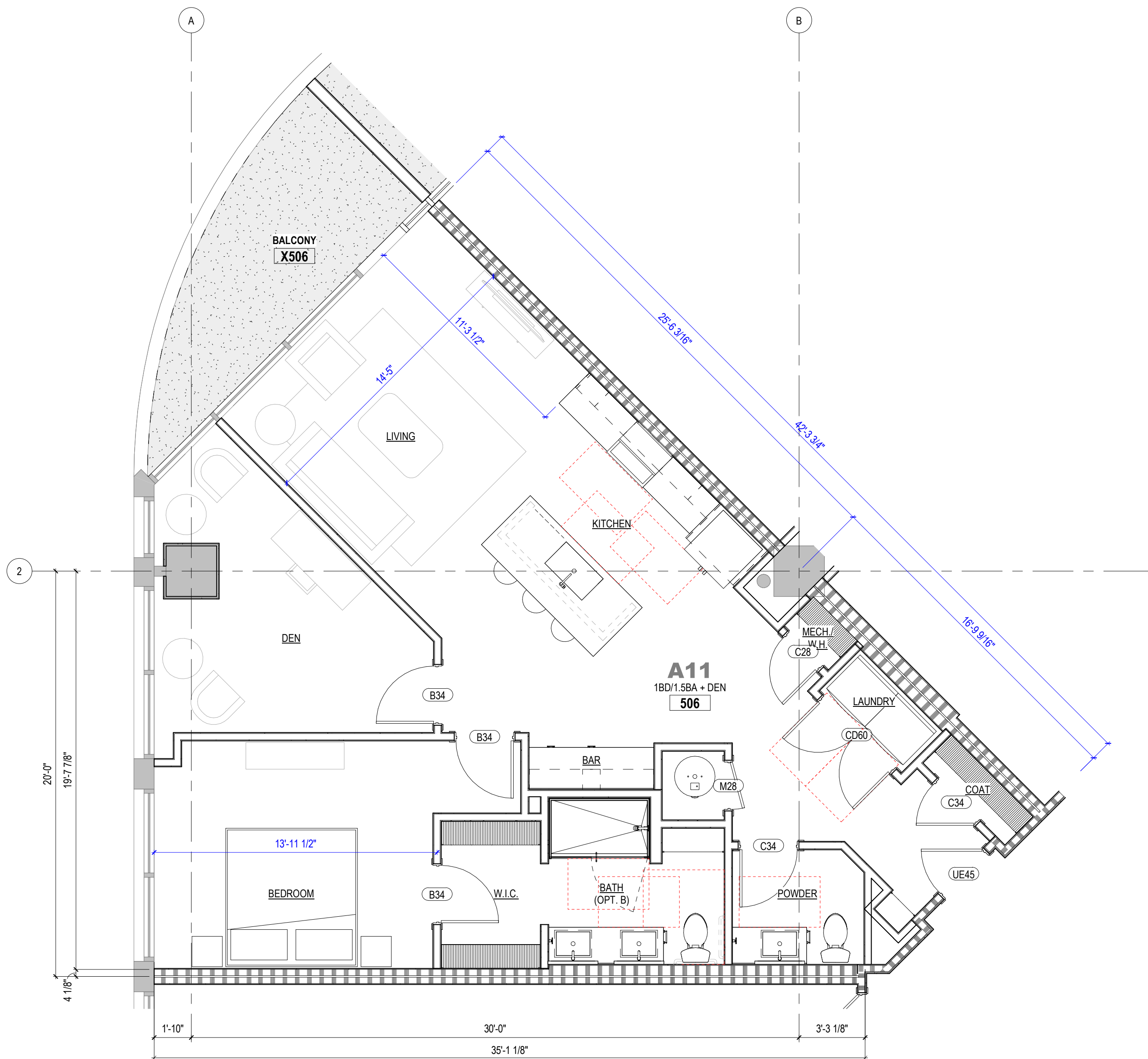
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A10	
SHEET SIZE	COMM. NO.
30" x 42"	E-12654
DRAWN BY	DATE
DY	03/06/2025
SHEET	
A920	





UNIT RCP - A11
SCALE: 1/4" = 1'-0"



UNIT PLAN - A11
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
- ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
- FURNITURE IS NOT IN CONTRACT.
- REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- REFER TO SHEET **A100 & A101** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR, & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4** U.N.O.
- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
- PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

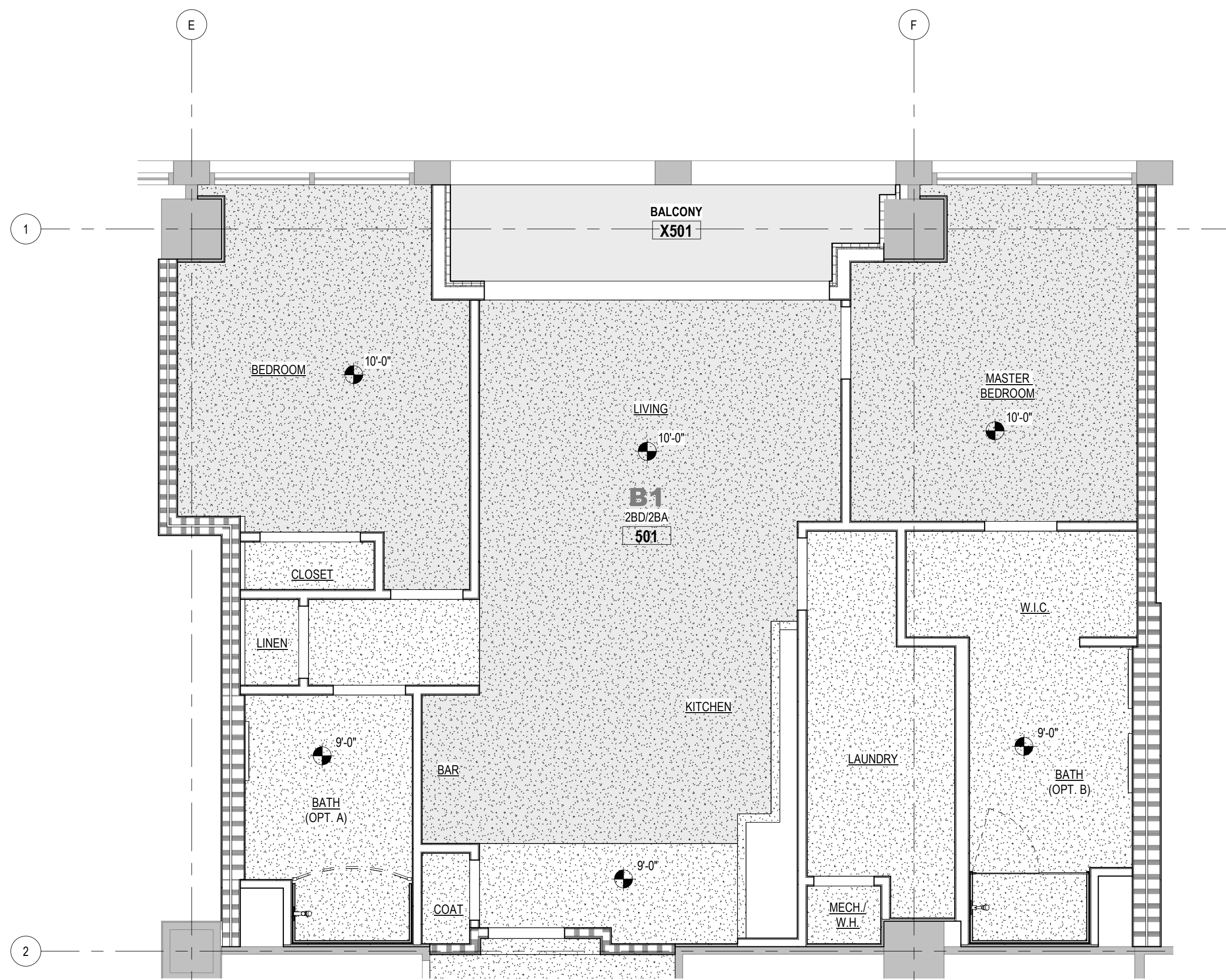
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

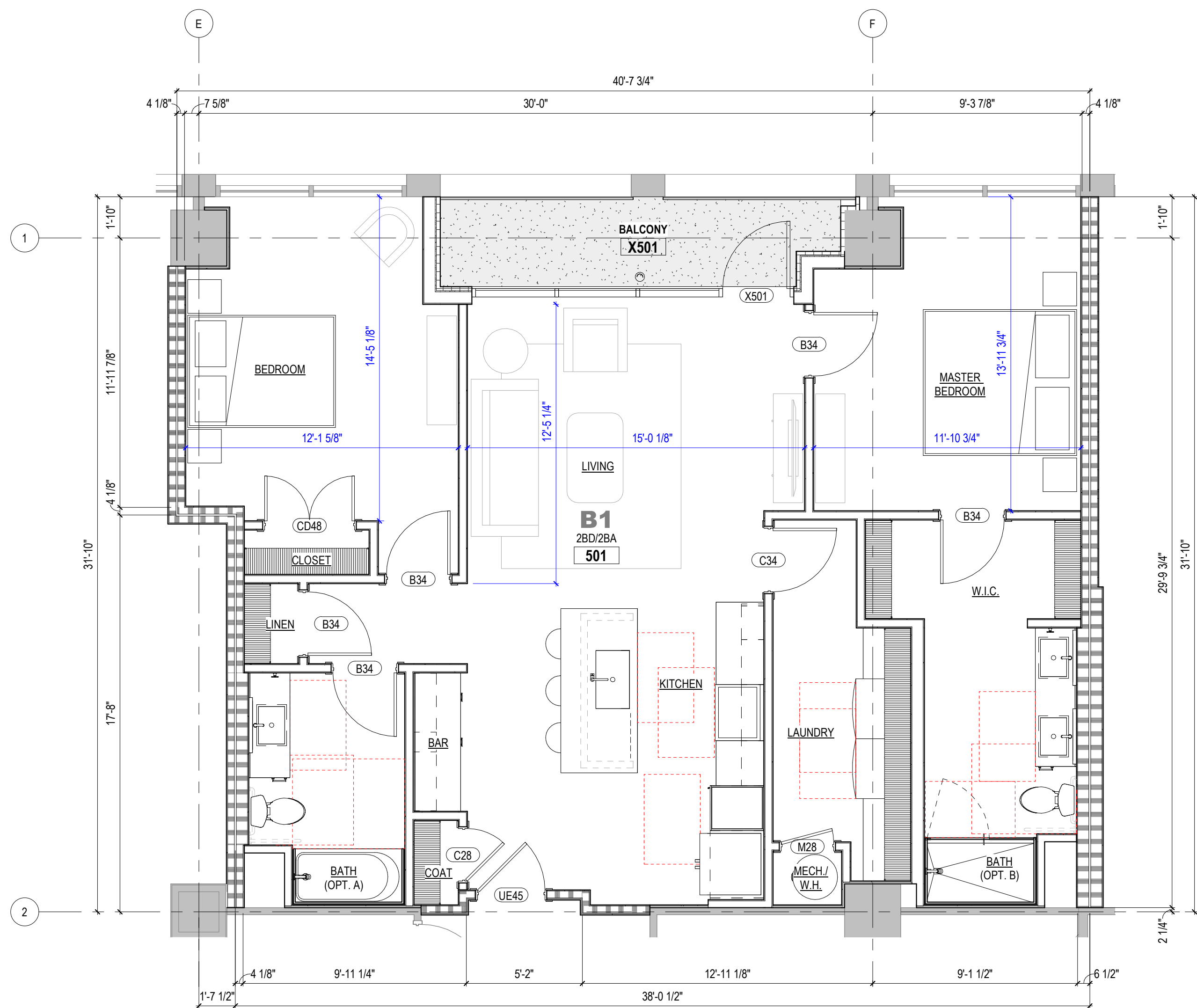
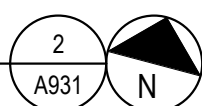
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - A11	
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET A921	

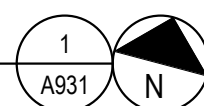




UNIT RCP - B1
SCALE: 1/4" = 1'-0"



UNIT PLAN - B1
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
- ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
- FURNITURE IS NOT IN CONTRACT.
- REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- REFER TO SHEET A900 & A901 FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
- AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

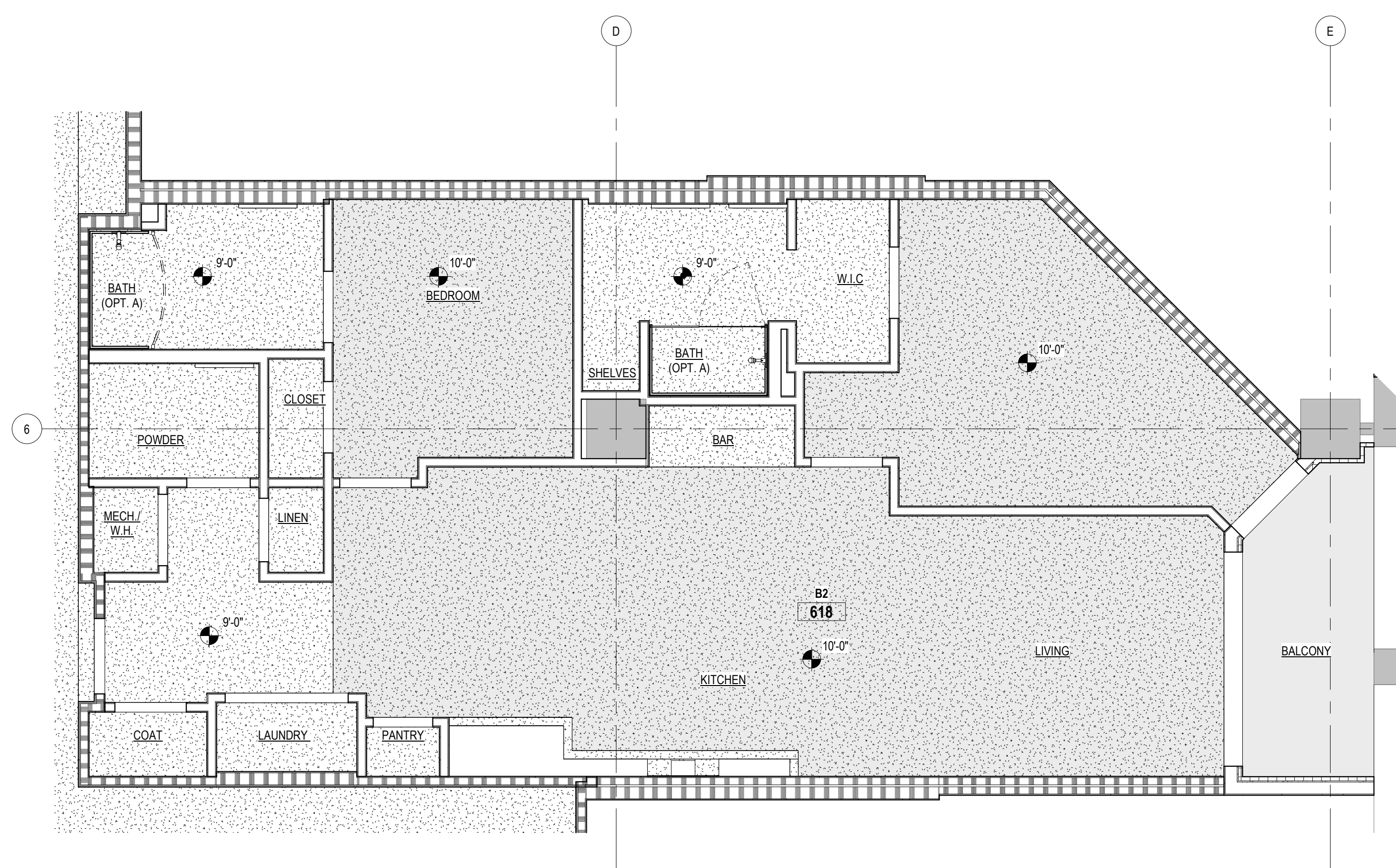
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ISSUED	DATE
SD SUBMITTAL	03/06/2023

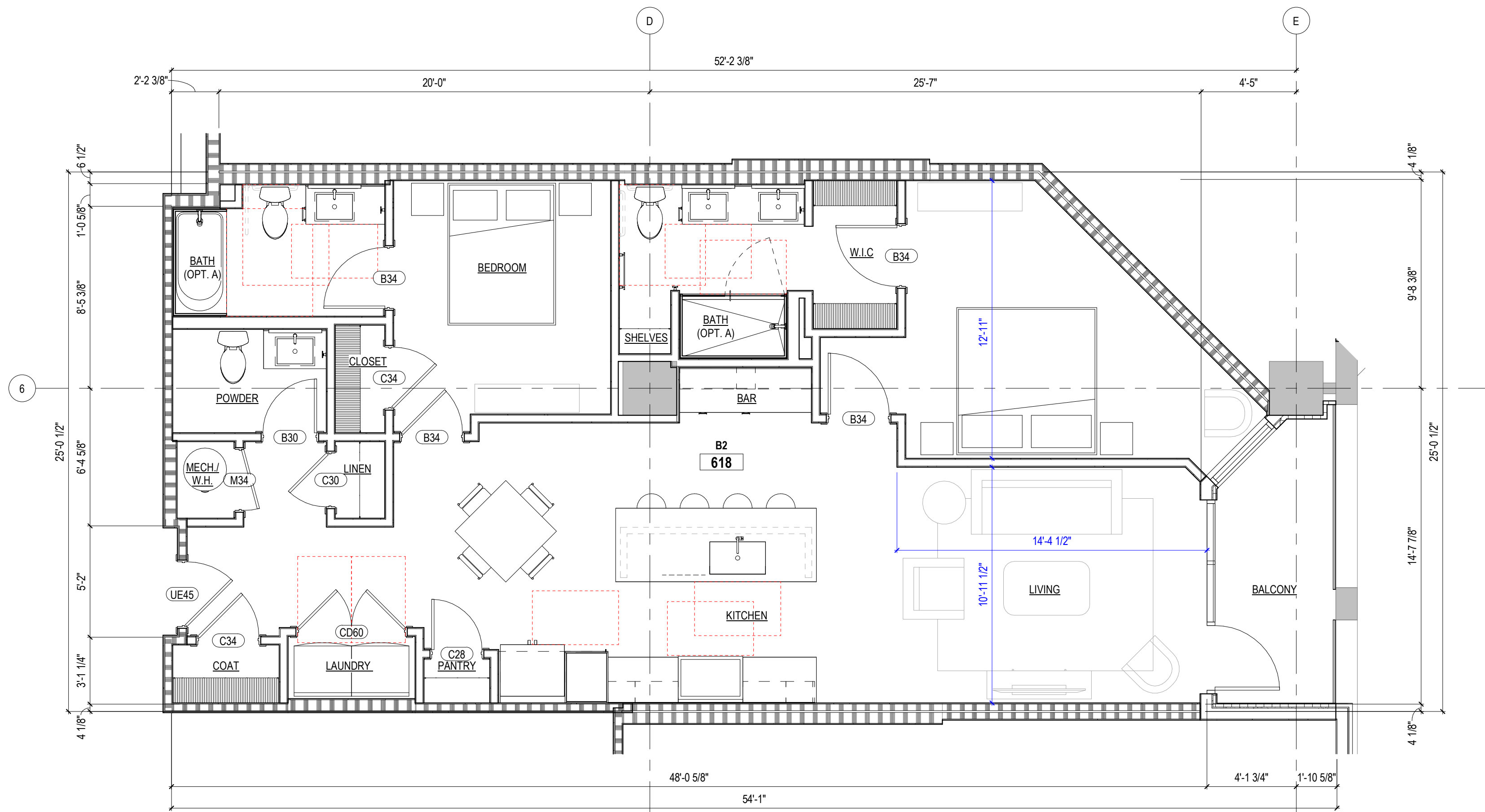
SHEET TITLE	
UNIT PLANS AND ELEVATIONS - B1	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2023
SHEET	

A931

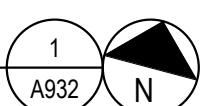




LEVEL 6(1)
SCALE: 1/4" = 1'-0"



UNIT PLAN - B2
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET **A900 & A701** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMON WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
T. PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
Z. ALL SHOWER & BATHTUB TO BE 36" X 60" U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
2. ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

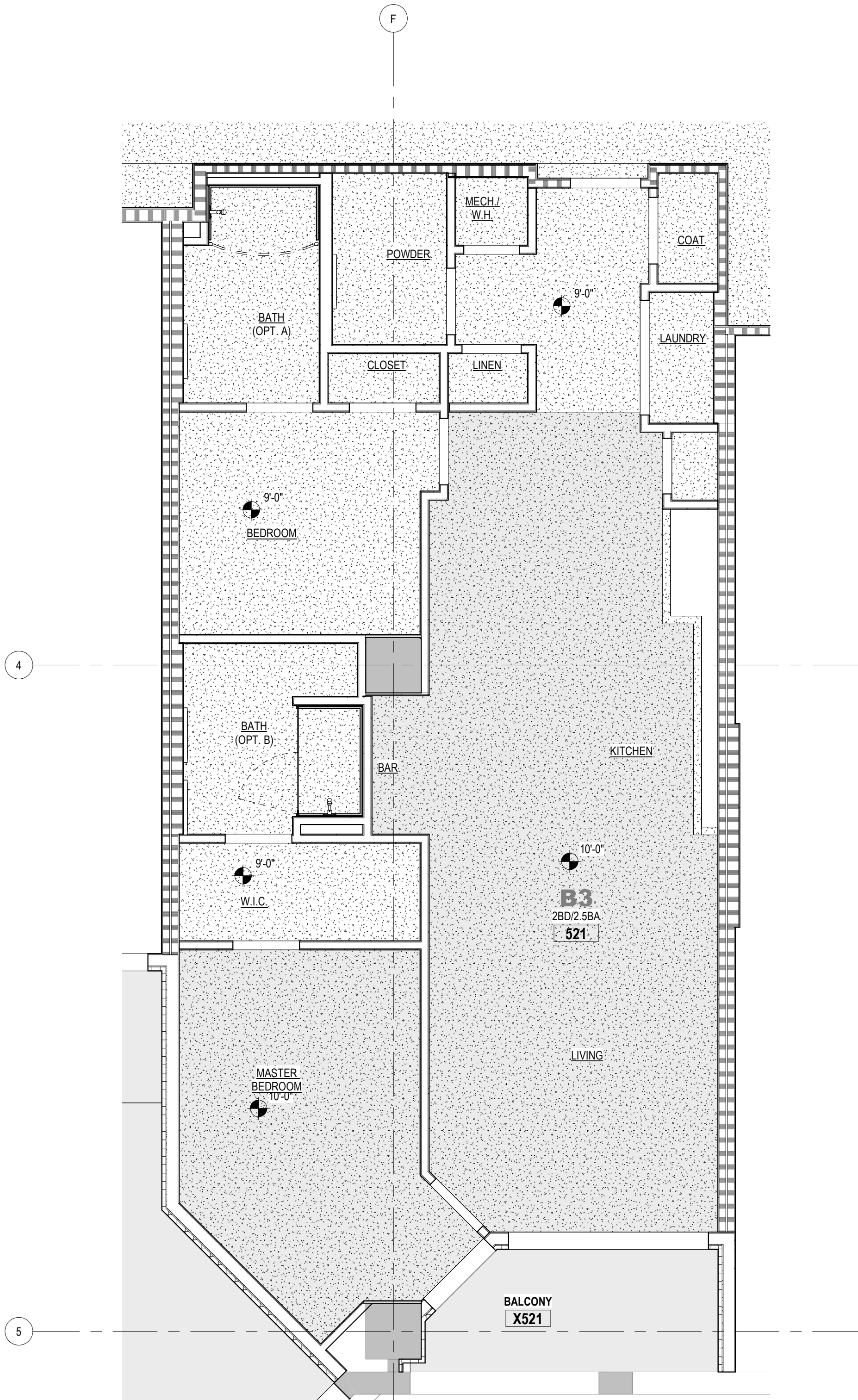
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR
CONSTRUCTION

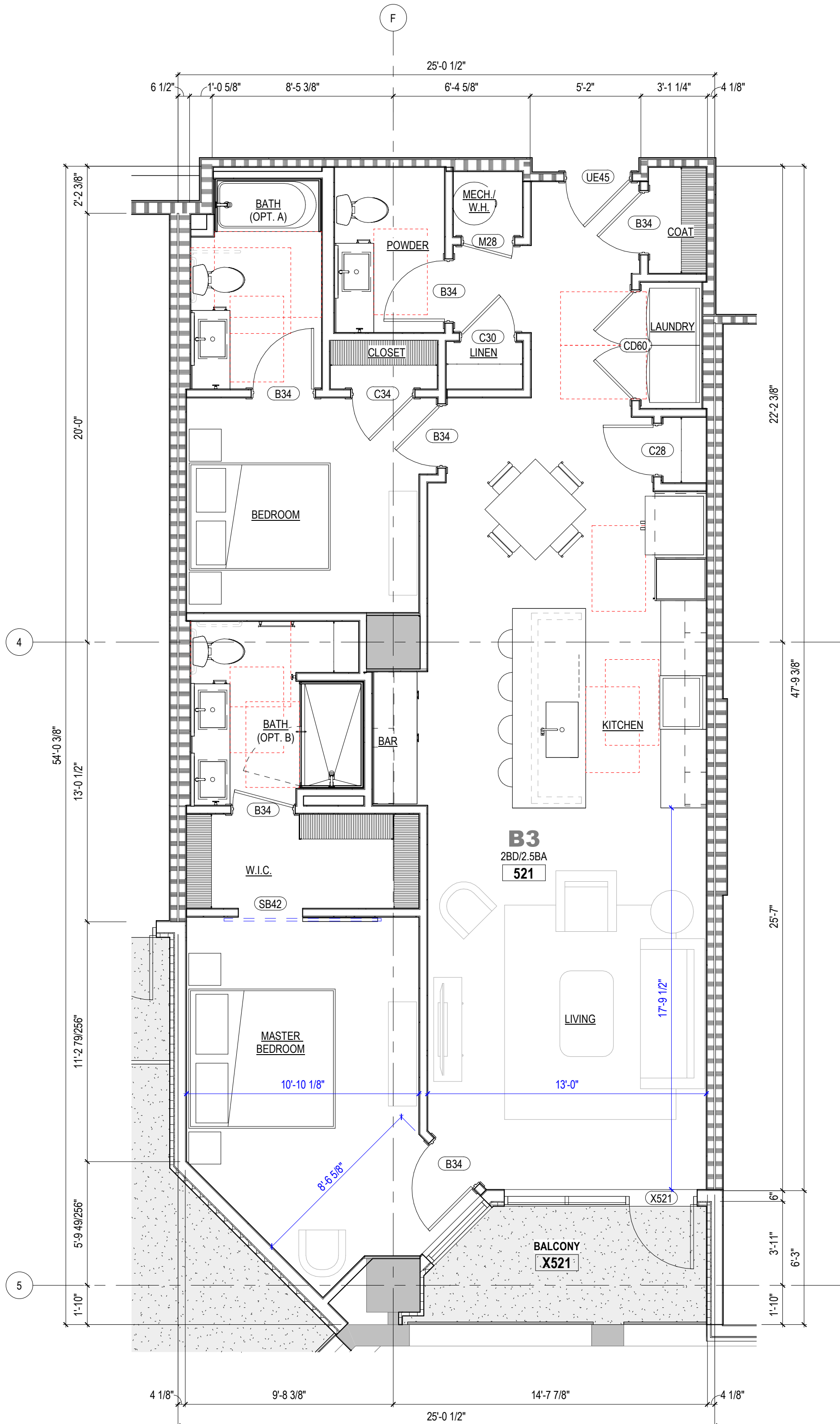
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - B2	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2025
SHEET	
A932	





UNIT RCP - B3
SCALE: 1/4" = 1'-0"



UNIT PLAN - B3
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
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- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS. MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
- FURNITURE IS NOT IN CONTRACT.
- REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
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- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
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- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-L308.
- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
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- ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

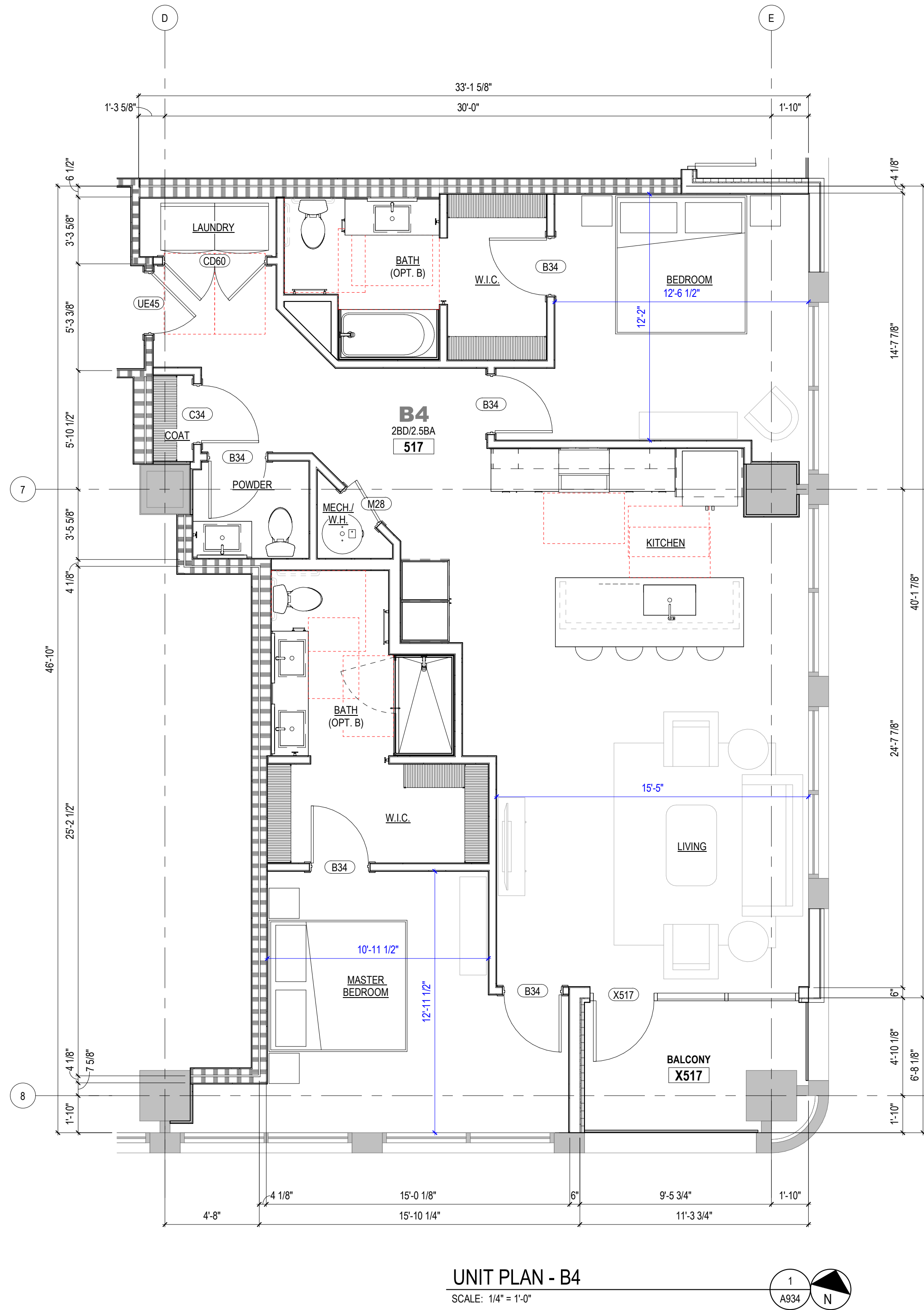
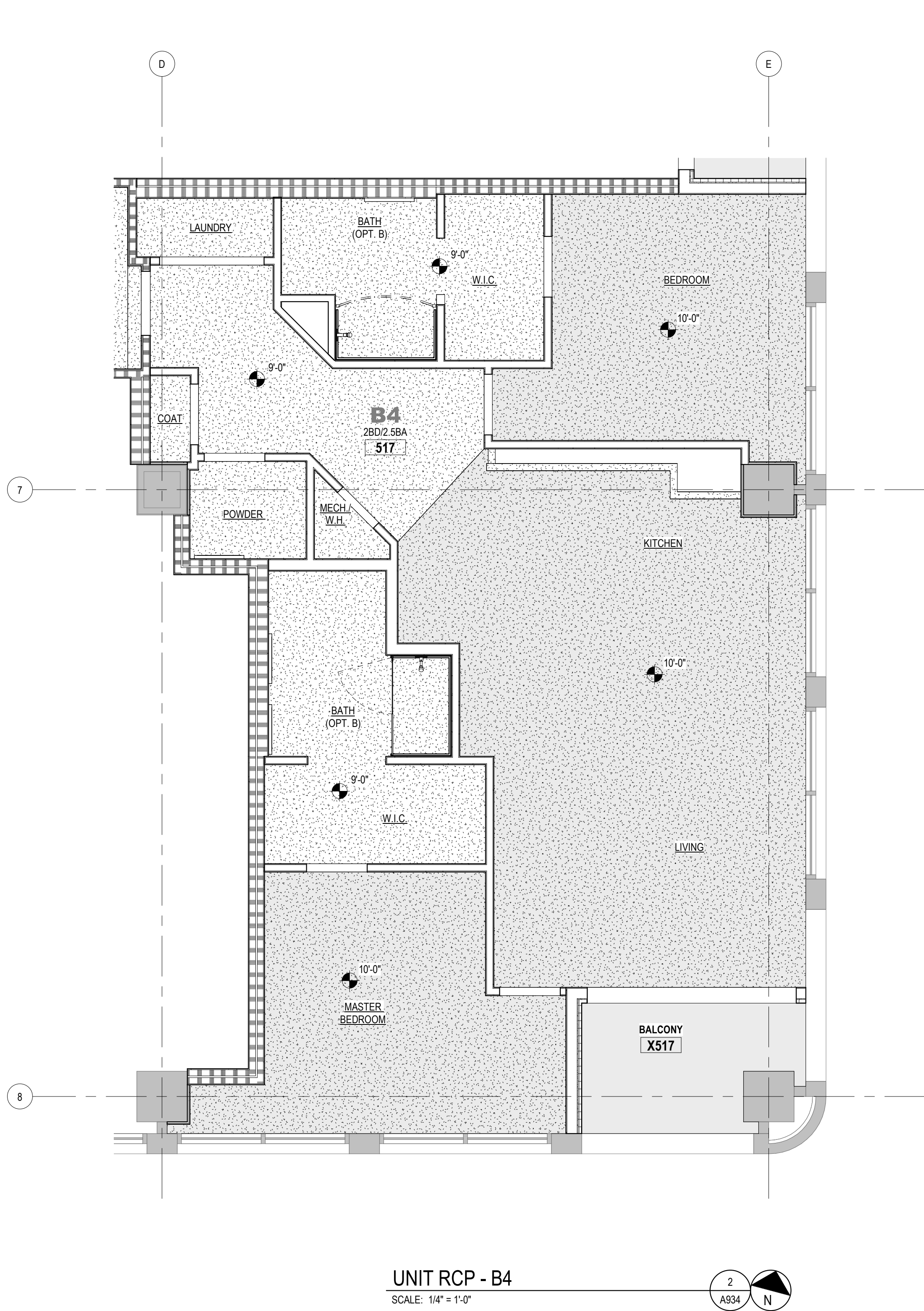
NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - B3	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2023
SHEET	

A933





- GENERAL NOTES**
- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
 - B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
 - C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
 - D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
 - E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS. MAINTAIN FIRE-RATED ASSEMBLIES.
 - F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
 - G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
 - H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1F" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
 - I. FURNITURE IS NOT IN CONTRACT.
 - J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
 - K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
 - L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
 - M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 - N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
 - O. REFER TO SHEET **A934 & A935** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
 - P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
 - Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
 - R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
 - S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
 - T. PROVIDE BLOCKING SUPPORT AS REQUIRED-INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
 - U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
 - V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
 - W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
 - X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
 - Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
 - Z. ALL SHOWERS & BATHTUBS TO BE 36" X 60" U.N.O.
 - AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
 - BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
 - CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

- ACCESSORY SCHEDULE**
- 1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
 - 2. ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

- LEGEND**
- AIR SUPPLY REGISTER
 - LIGHTING FIXTURE
 - LUXURY VINYL TILE
 - CARPET

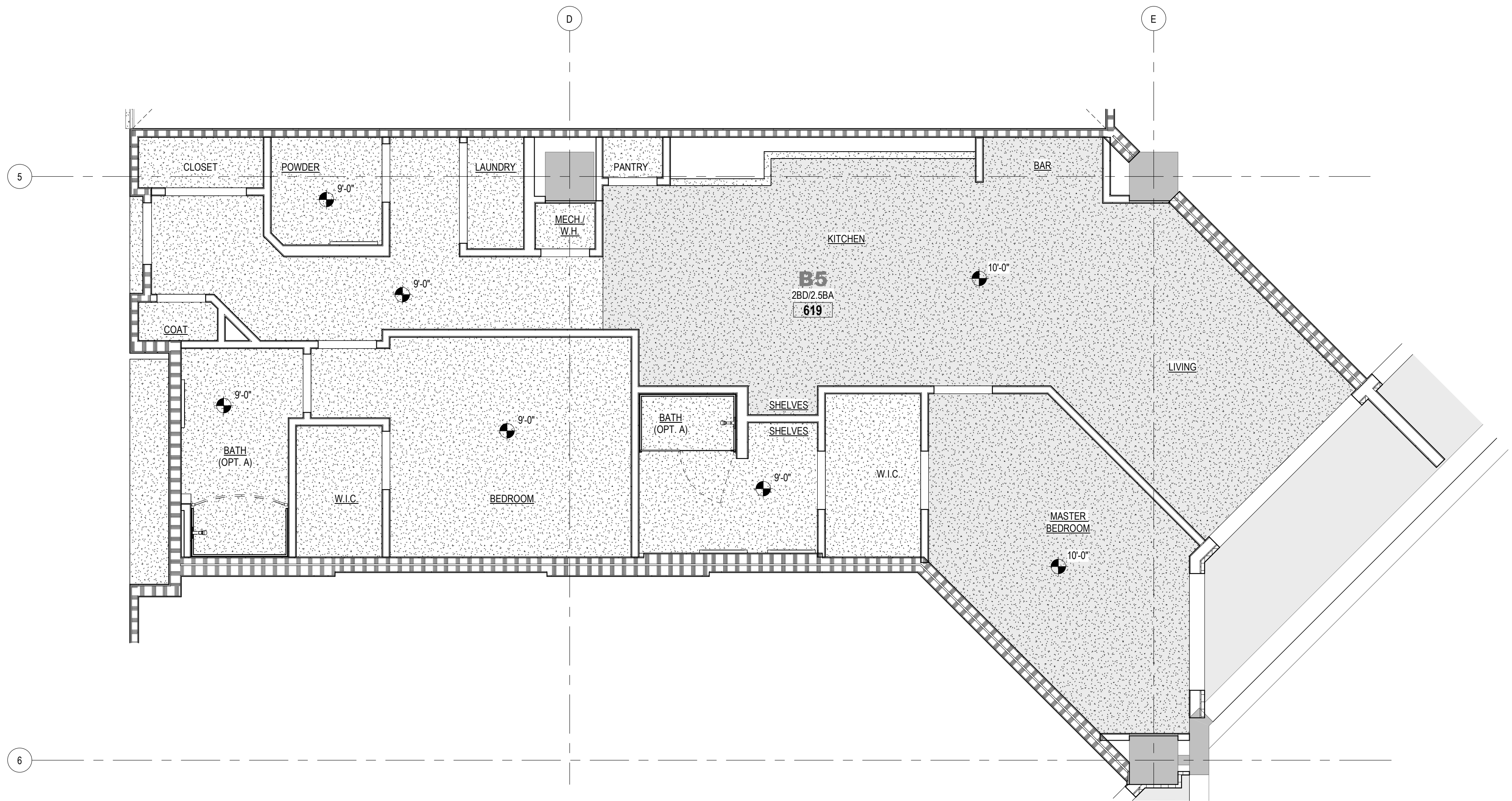
ATRIUM 1 RESIDENCES - LEVELS 5-14
201 E 4TH ST. CINCINNATI, OH 45202
ACABAY INC.
100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

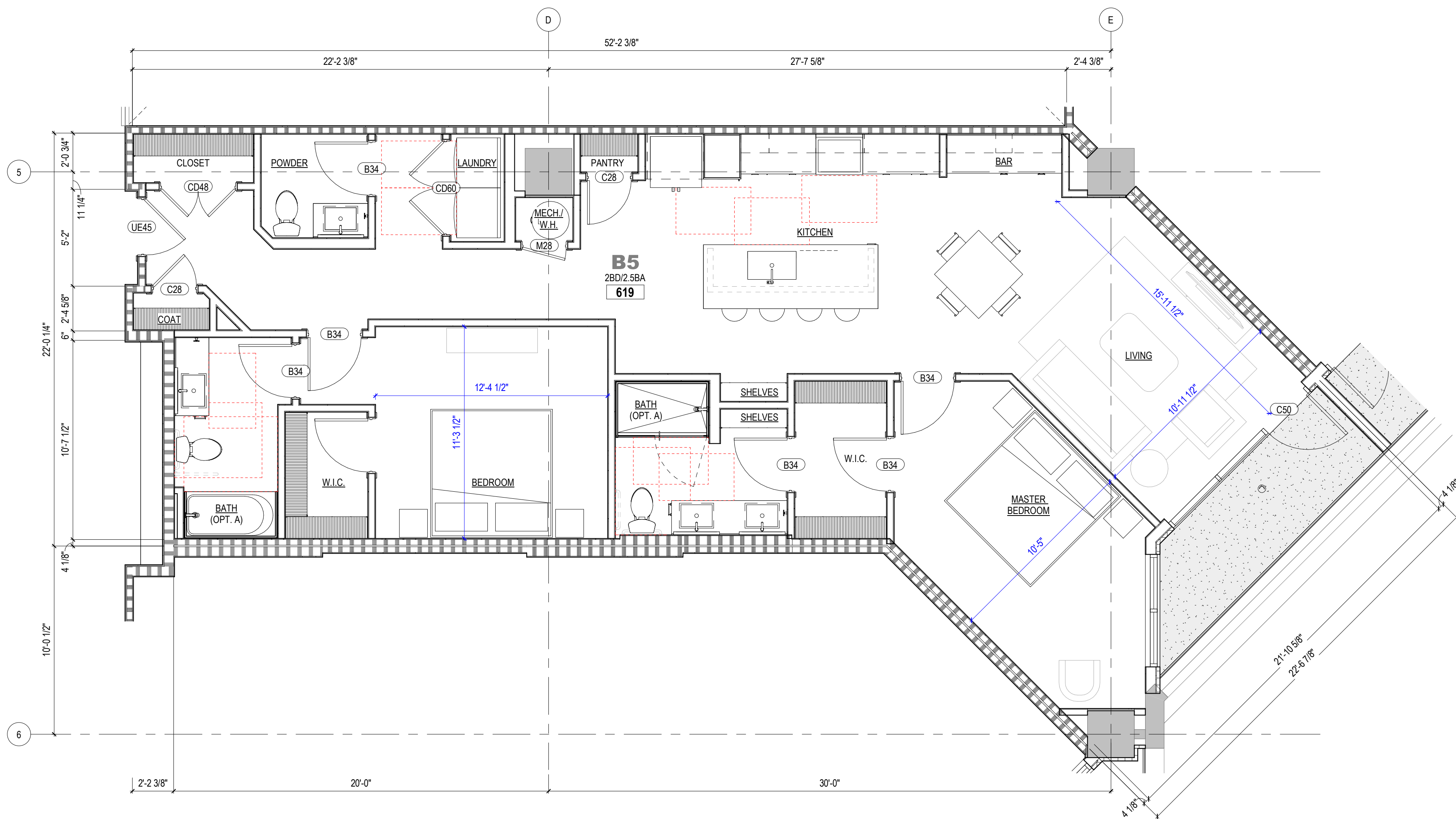
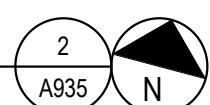
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - B4	
SHEET SIZE 30" x 42"	COMM. No. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET A934	

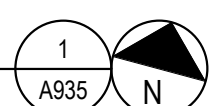




UNIT PLAN - B5
SCALE: 1/4" = 1'-0"



UNIT PLAN - B5
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
- ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "B" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
- FURNITURE IS NOT IN CONTRACT.
- REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- REFER TO SHEET **A935 & A936** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMON WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4** U.N.O.
- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT QWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- ALL SHOWER & BATHTUB TO BE 36" X 60" U.N.O.
- AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

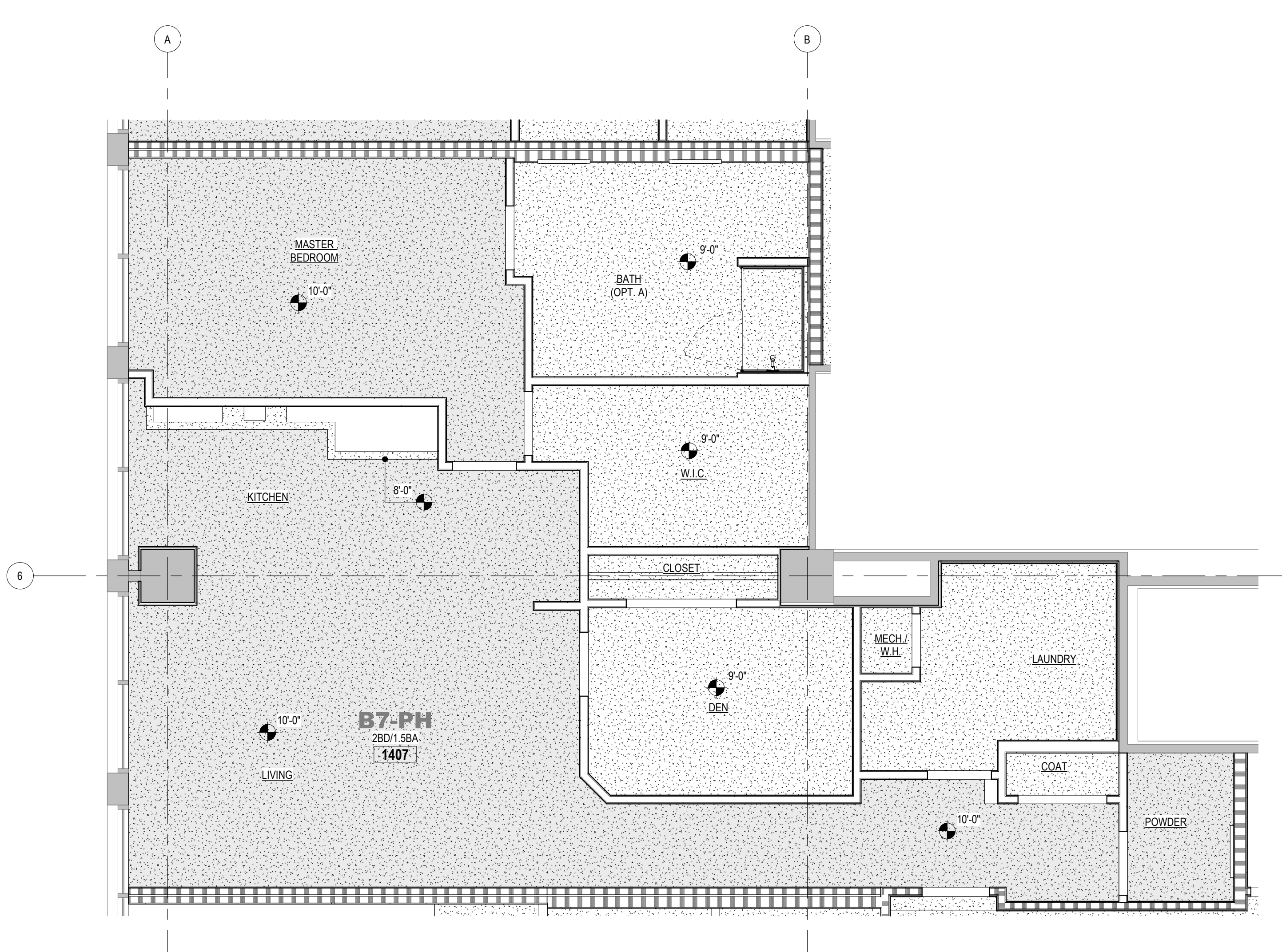
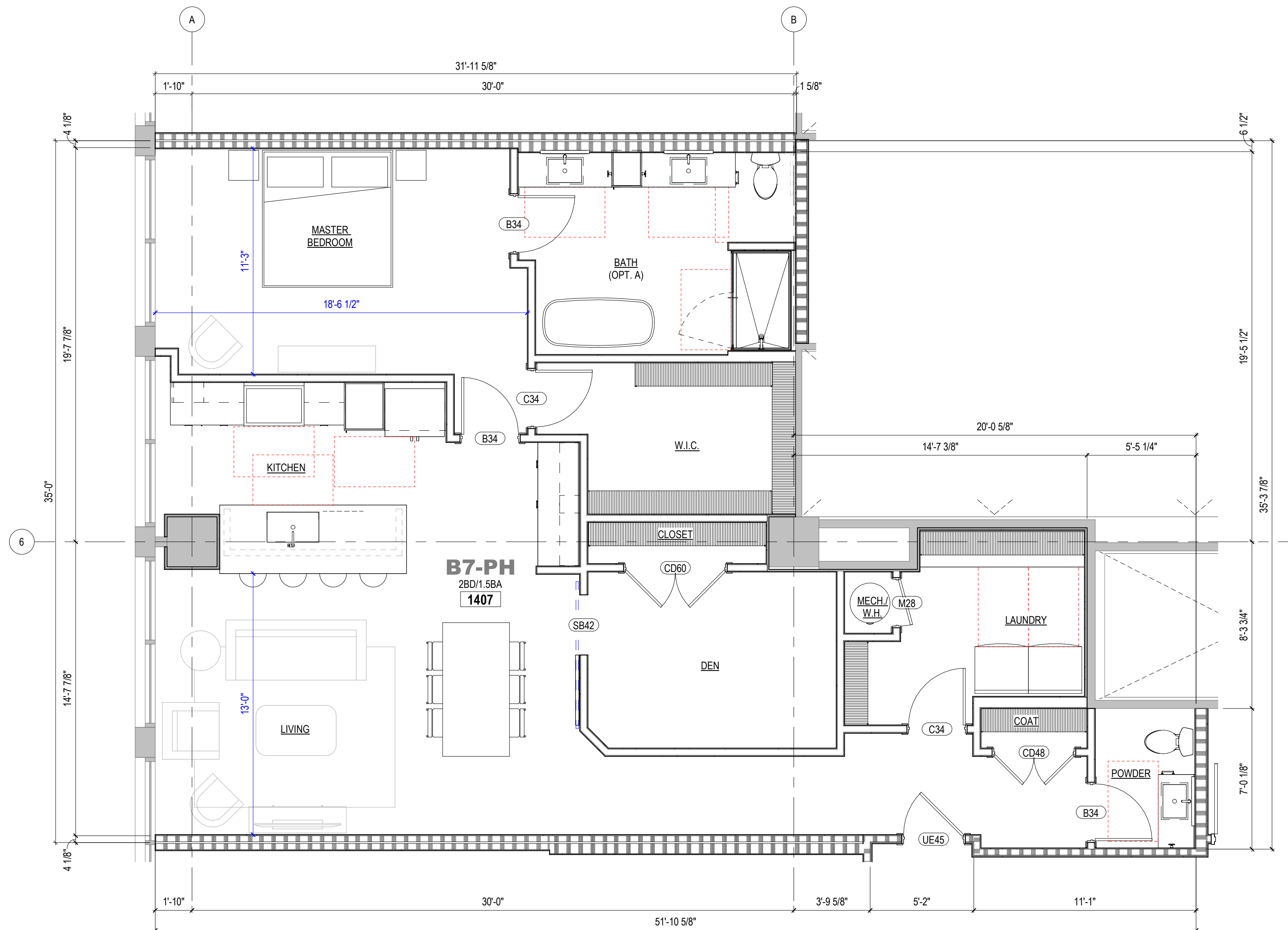
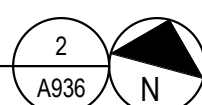
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- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET SIZE	30" x 42"	COMM. NO.	E-12854
DRAWN BY	DY	DATE	03/06/2023

UNIT RCP - B6-PH
SCALE: 1/4" = 1'-0"UNIT PLAN - B6-PH
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
- C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
- D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
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- J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- O. REFER TO SHEET A900 & A901 FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR, & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
- P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
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- S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
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- U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
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- W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
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KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE
UNIT PLANS AND
ELEVATIONS - B6-PH

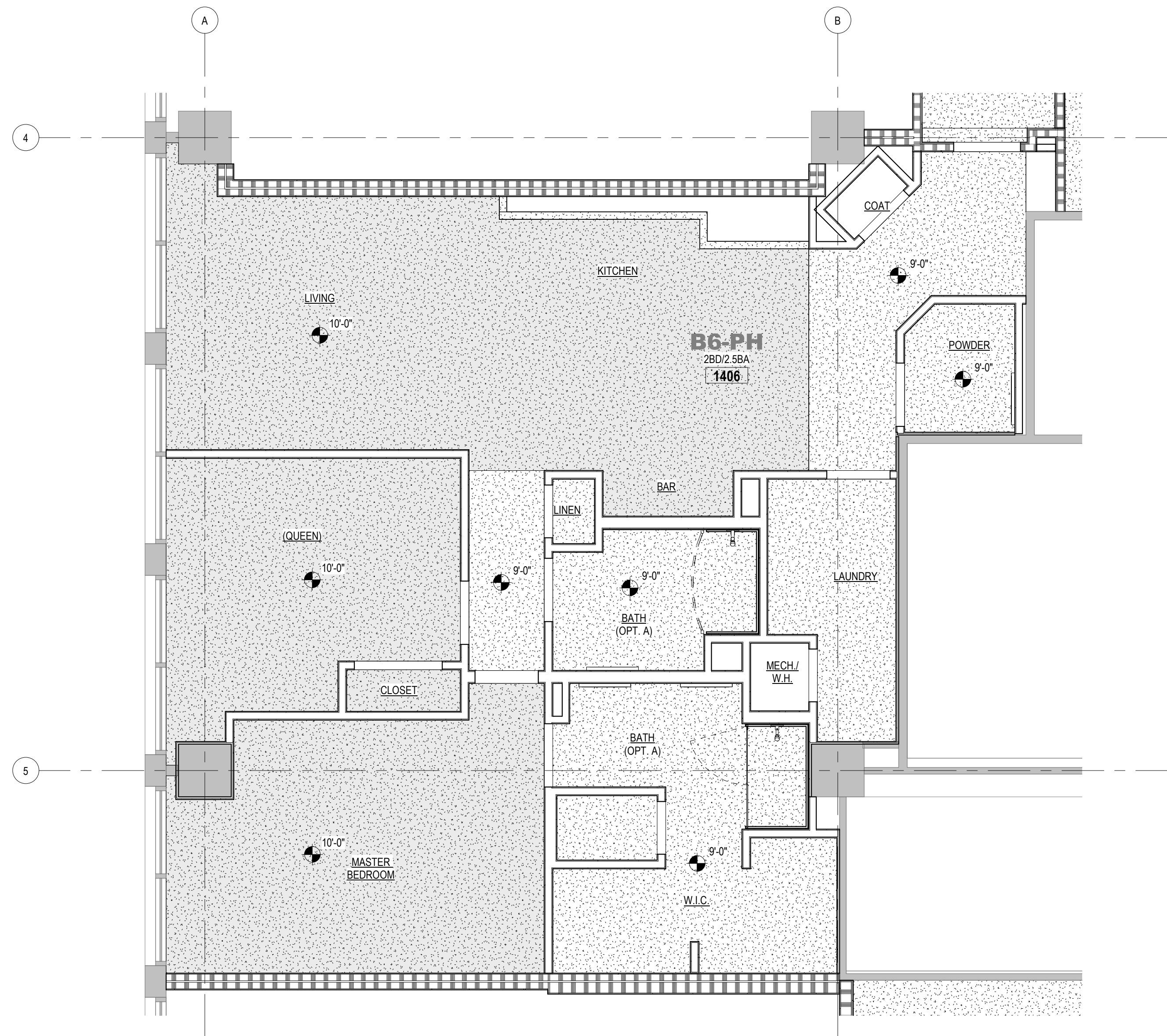
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2023

A936

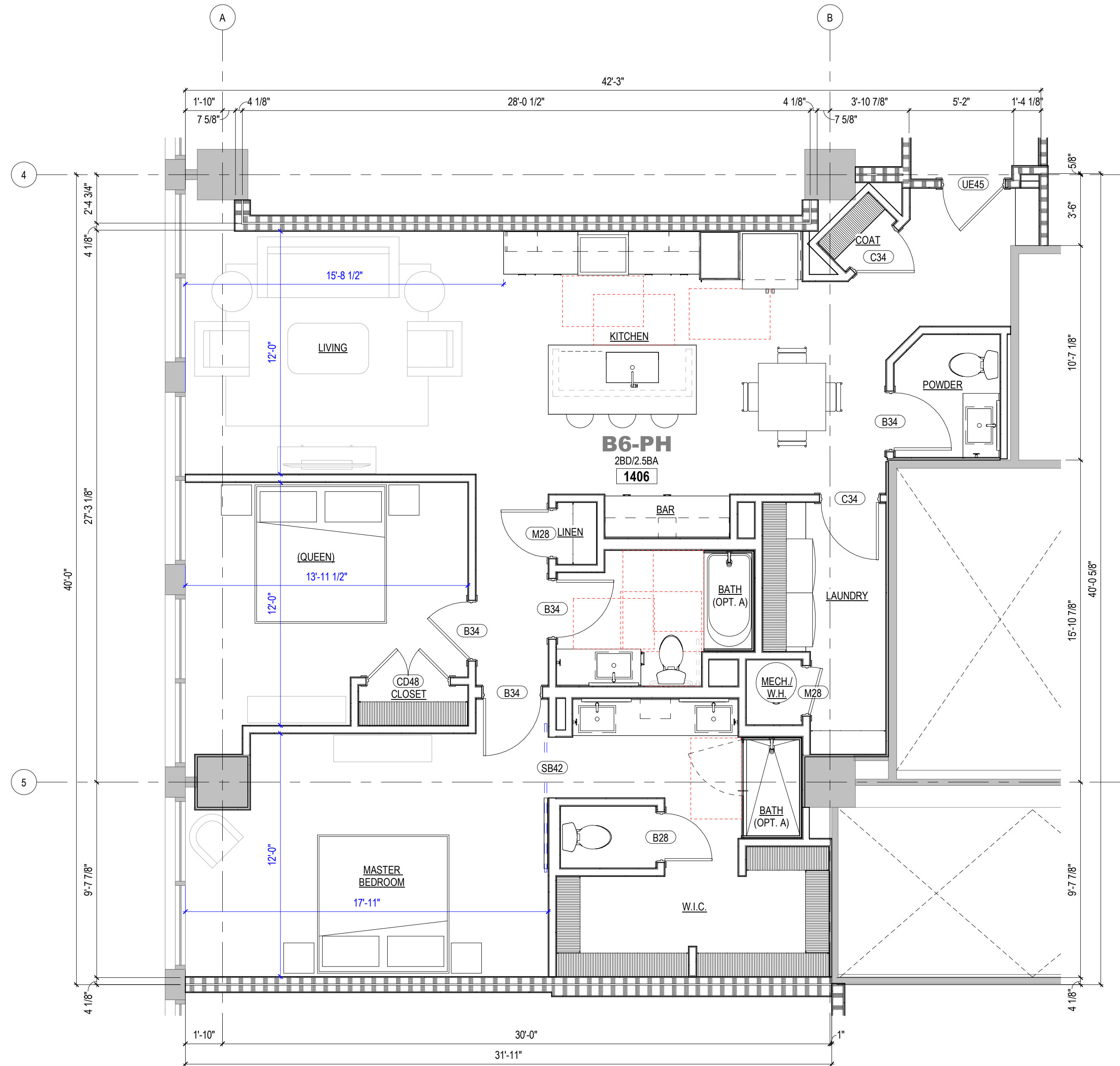
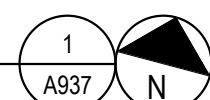


555 CARR ST., CINCINNATI, OH 45202 | P 513.737-1488 | F 513.737-5601





UNIT RCP - B7-PH
SCALE: 1/4" = 1'-0"



UNIT PLAN - B7-PH
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
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- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
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KEYNOTES

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ACCESSORY SCHEDULE

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LEGEND

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- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

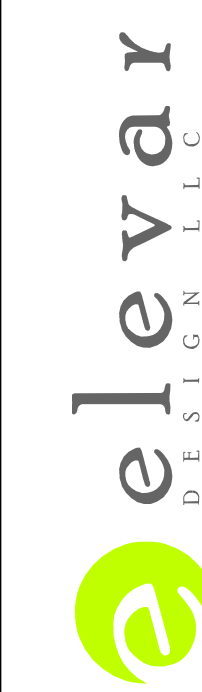
ISSUED	DATE
SD SUBMITTAL	03/06/2025

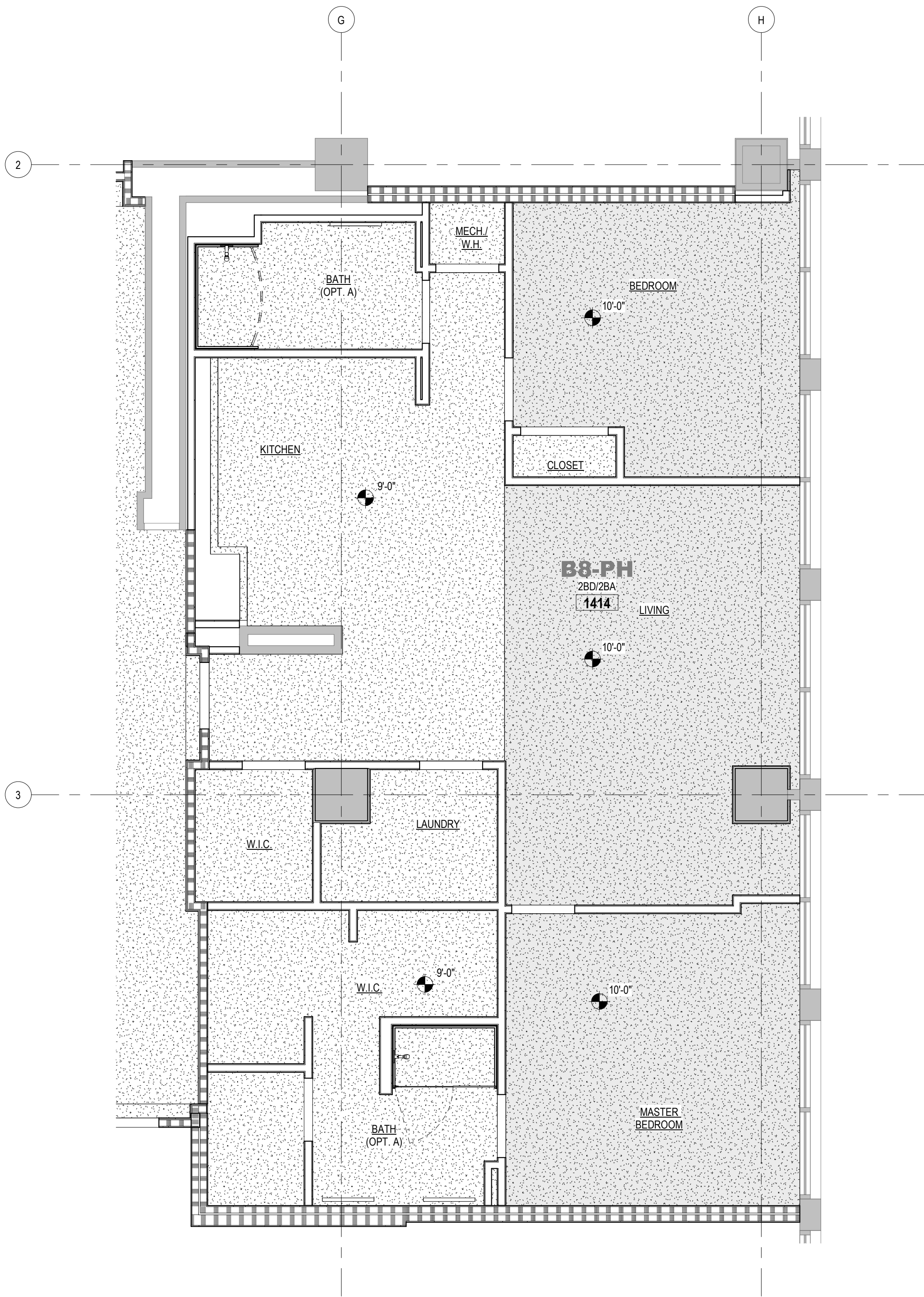
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UNIT PLANS AND ELEVATIONS - B7-PH

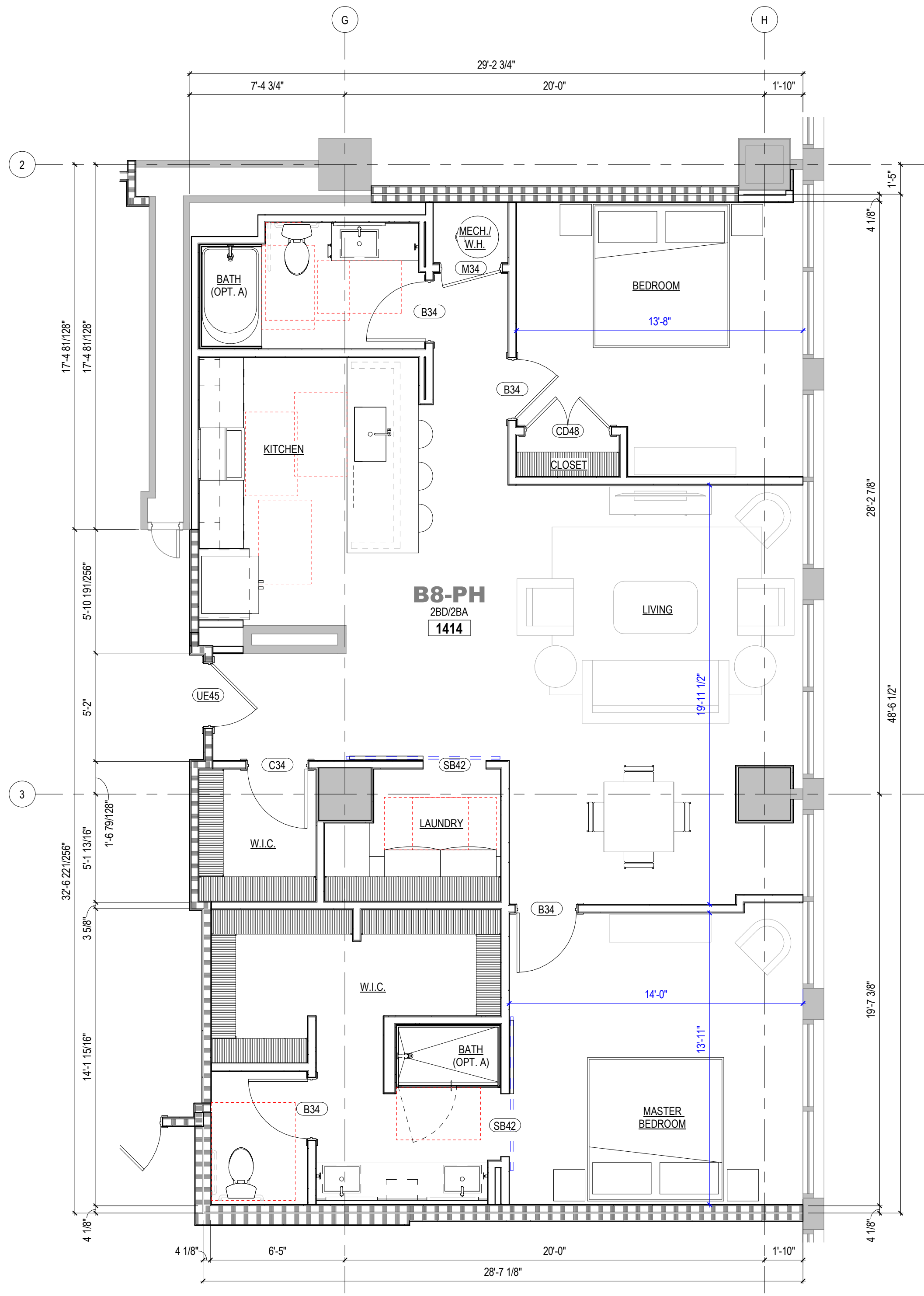
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30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2025

A937

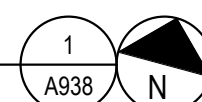




UNIT RCP - B8-PH
SCALE: 1/4" = 1'-0"



UNIT PLAN - B8-PH
SCALE: 1/4" = 1'-0"



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- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
- PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE

UNIT PLANS AND ELEVATIONS - B8-PH

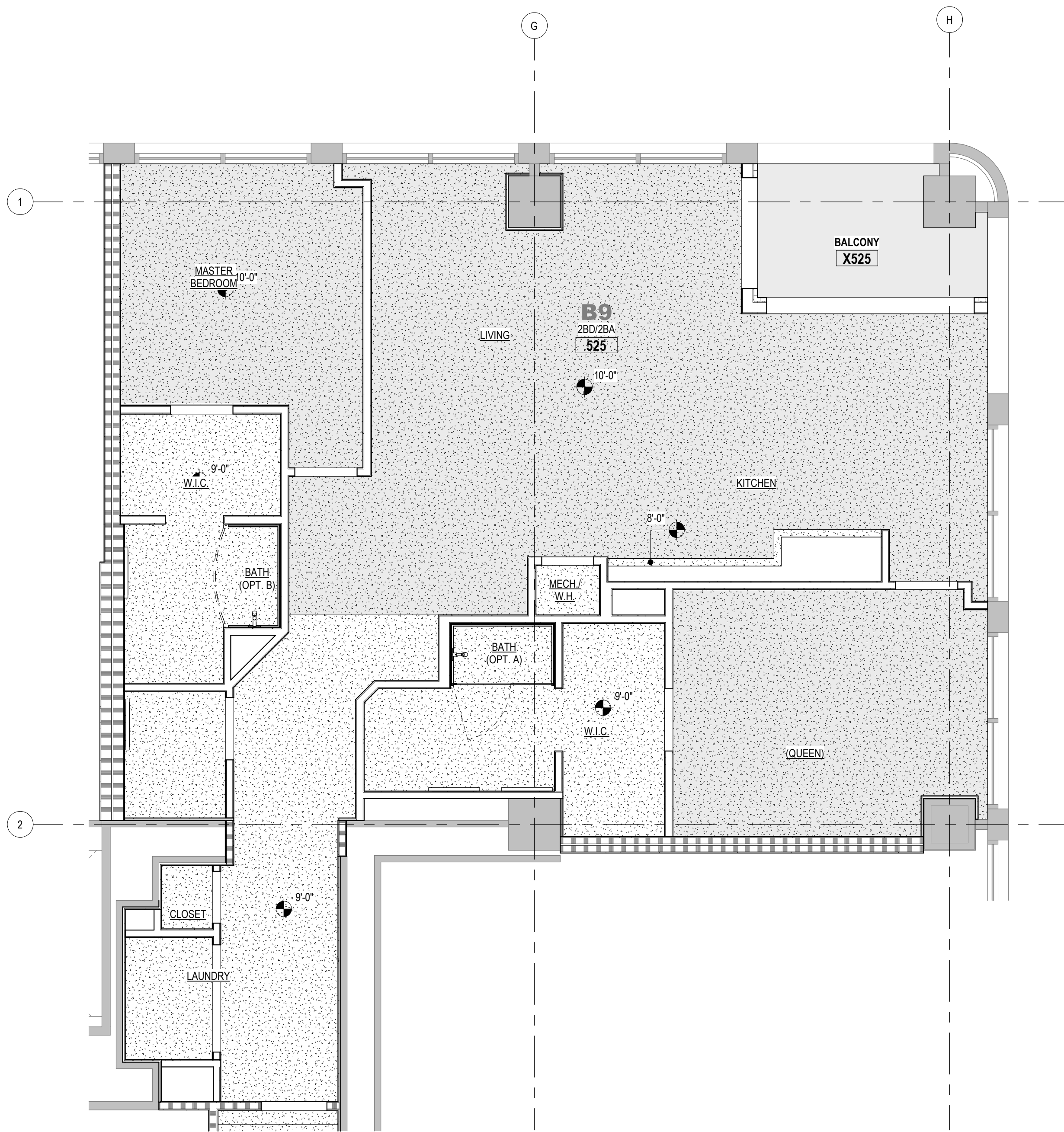
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DRAWN BY	DY	DATE	03/06/2023
SHEET			

A938

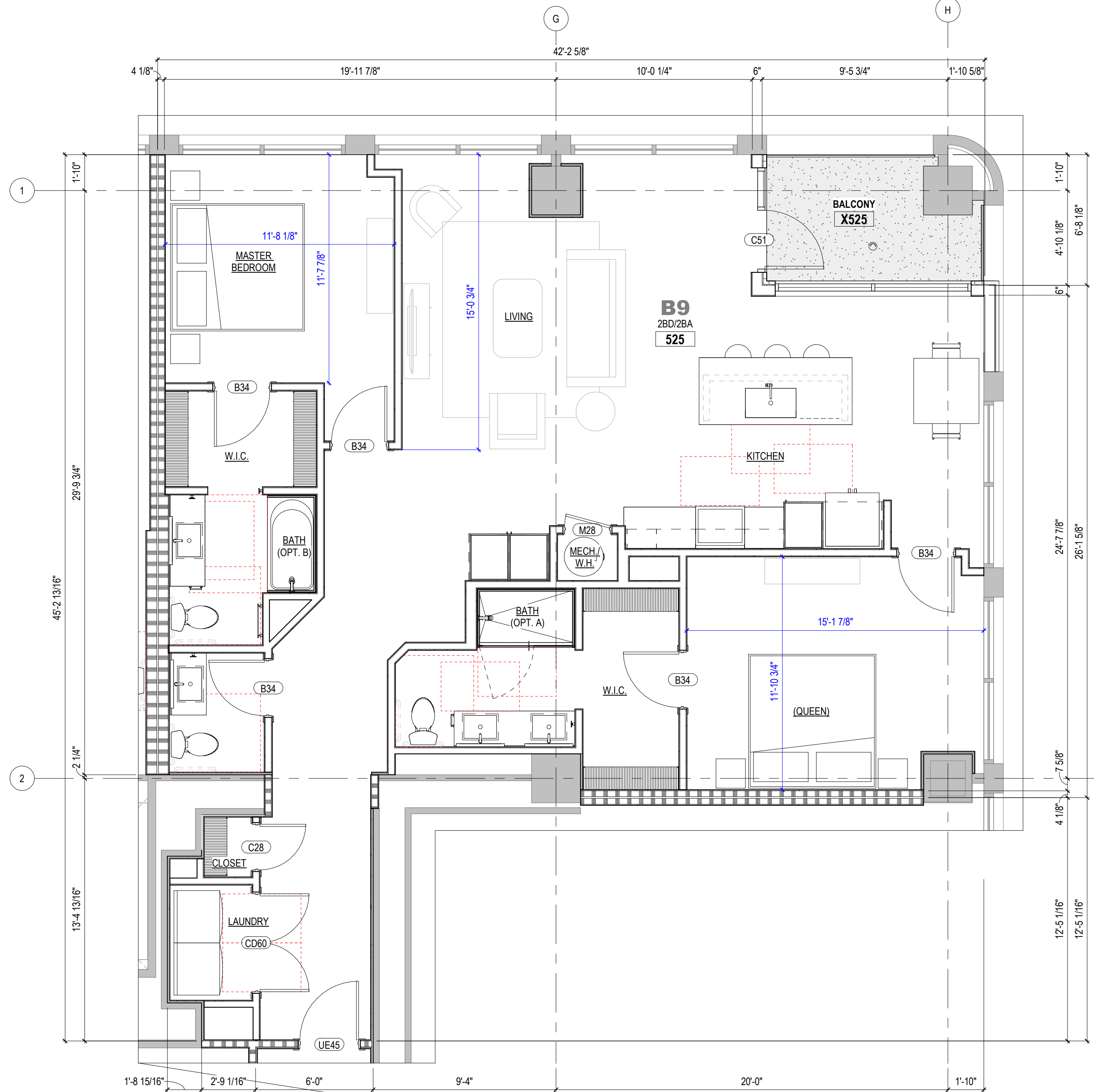
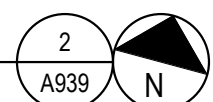
elevator
DESIGN LLC

ACABAY
Premier Office Space

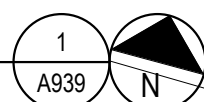
555 CARR ST., CINCINNATI, OH 45202 | P: 513.721-1480 | F: 513.721-5611



UNIT RCP - B9
SCALE: 1/4" = 1'-0"



UNIT PLAN - B9
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET **A939 & A940** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR, & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
T. PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
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Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
Z. ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

? KEYNOTES

X DRAWING NOTES

ACCESSORY SCHEDULE

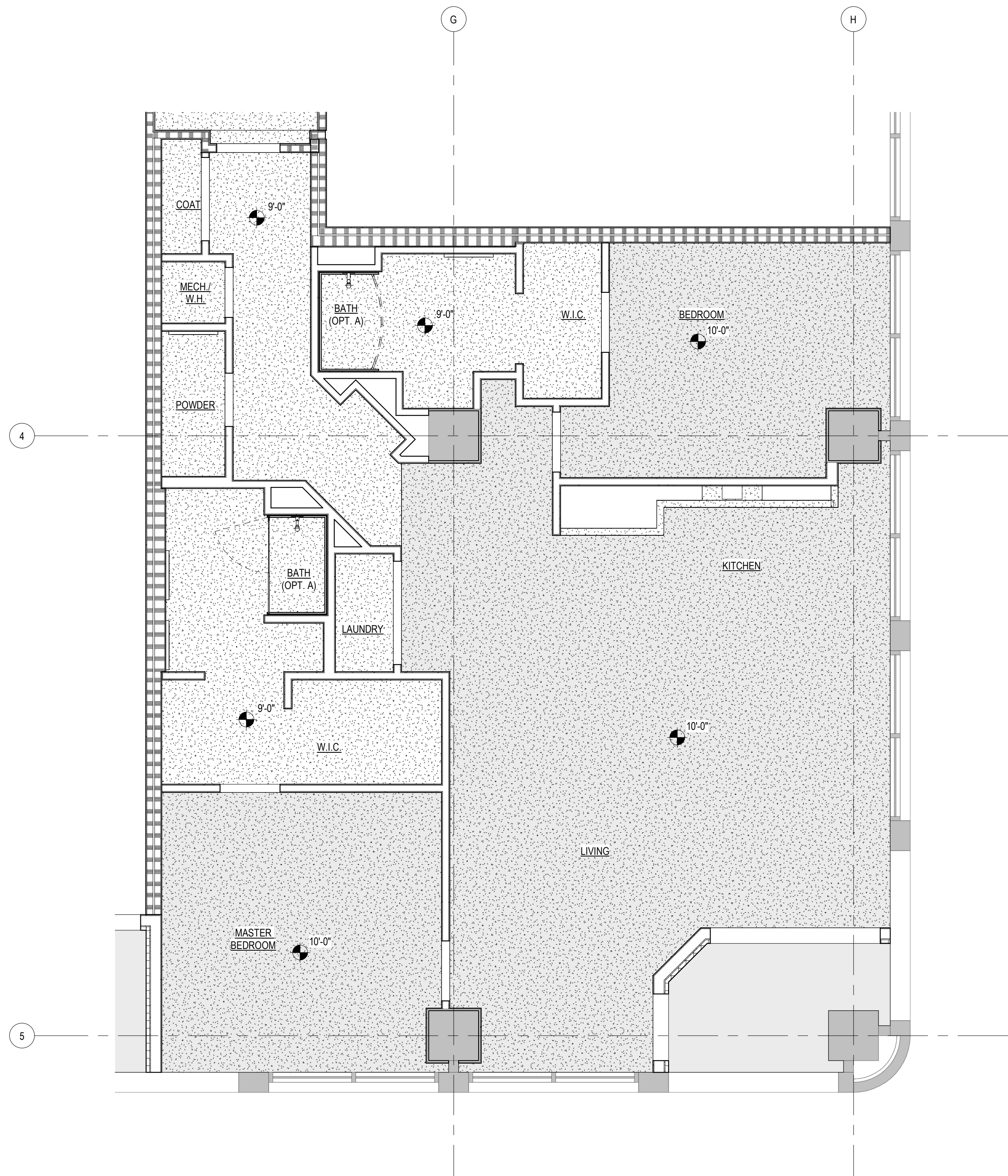
1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
 LIGHTING FIXTURE
 LUXURY VINYL TILE
 CARPET

ISSUED	DATE
SD SUBMITTAL	03/06/2023

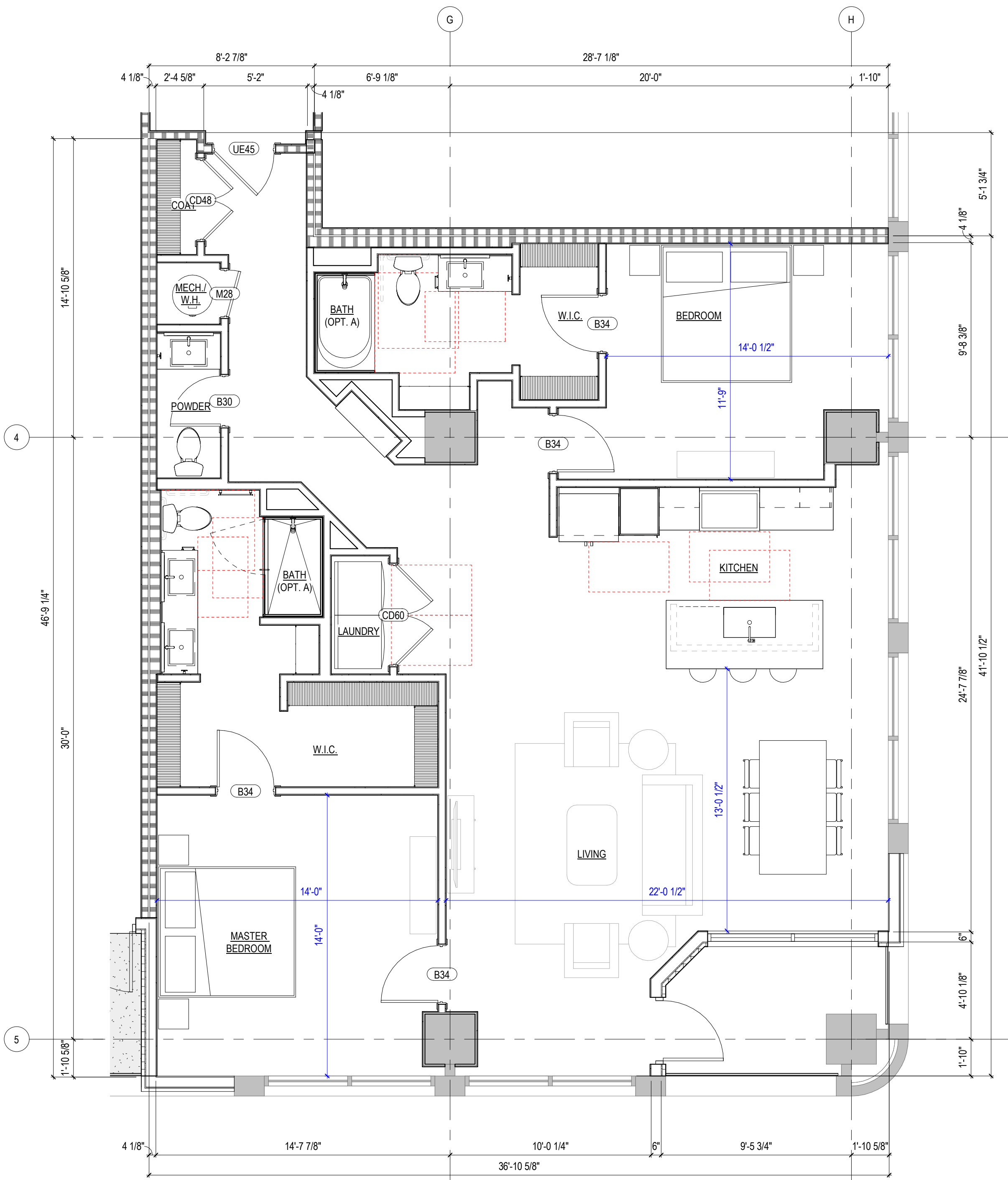
SHEET SIZE	30" x 42"	COMM. No.	E-12854
DRAWN BY	DY	DATE	03/06/2023



UNIT RCP - B10-PH
SCALE: 1/4" = 1'-0"

2

A940



UNIT PLAN - B10-PH
SCALE: 1/4" = 1'-0"

1

A940

GENERAL NOTES

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- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
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- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
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- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- REFER TO SHEET **A940 & A941** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR, & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
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- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

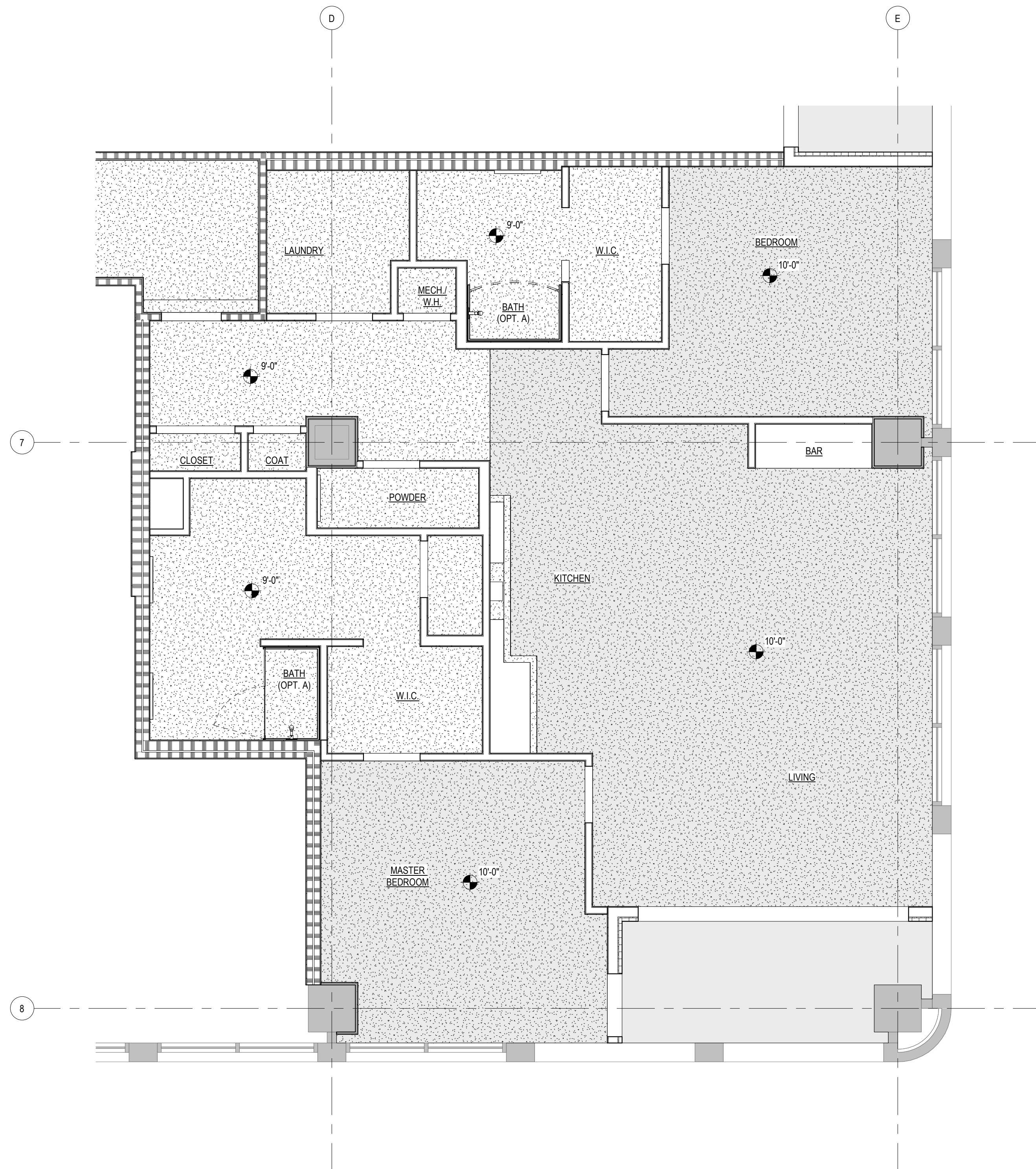
NOT FOR
CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - B10-PH	
SHEET SIZE	COMM. NO.
30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2025
SHEET #	

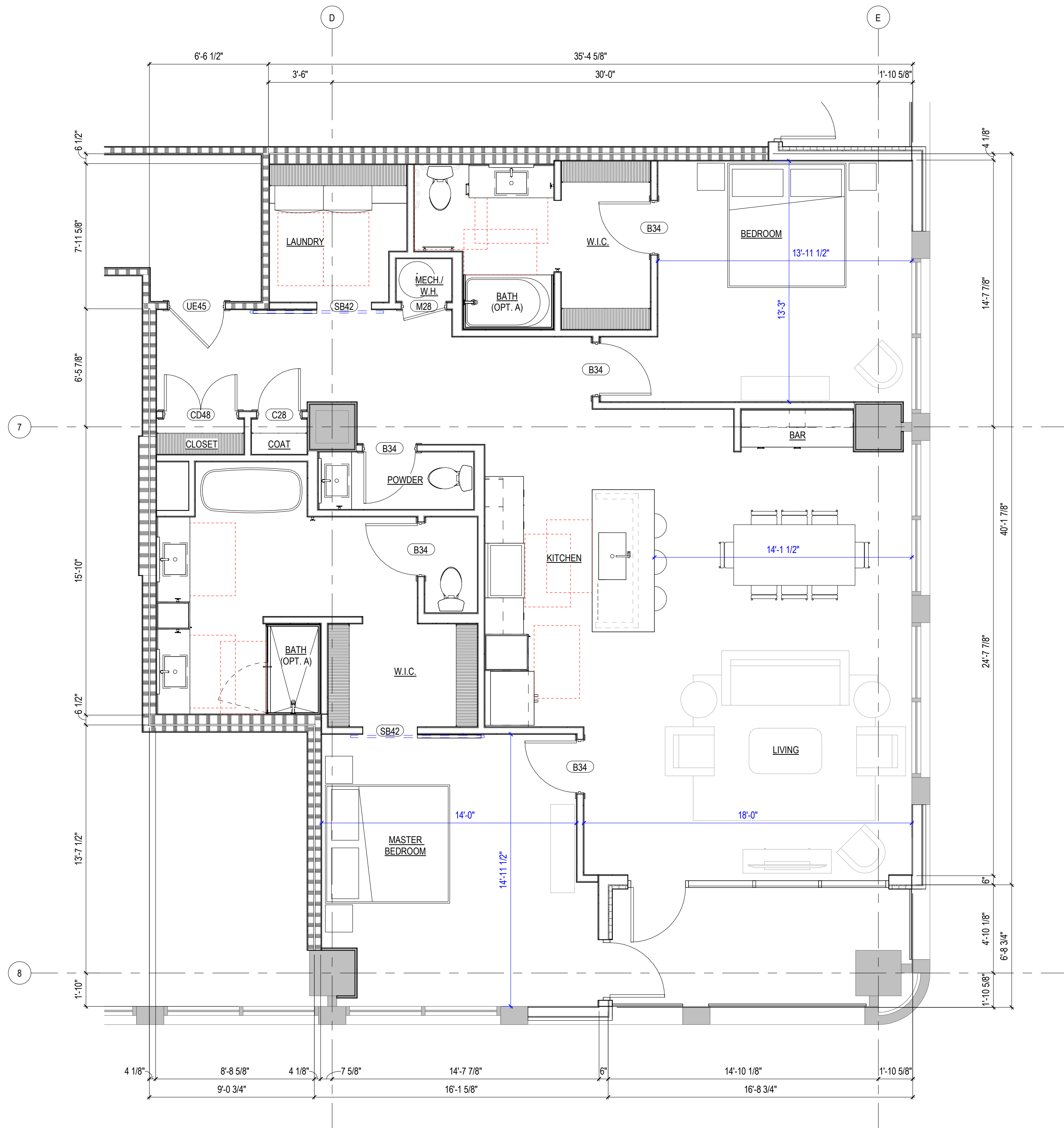
A940





UNIT RCP - B11-PH
SCALE: 1/4" = 1'-0"

2
A941



UNIT PLAN - B11-PH
SCALE: 1/4" = 1'-0"

1
A941

GENERAL NOTES

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D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET **A940 & A941** FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & DEMISING WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE **W4**, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
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V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
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KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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LEGEND

- AIR SUPPLY REGISTER
LIGHTING FIXTURE
LUXURY VINYL TILE
CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

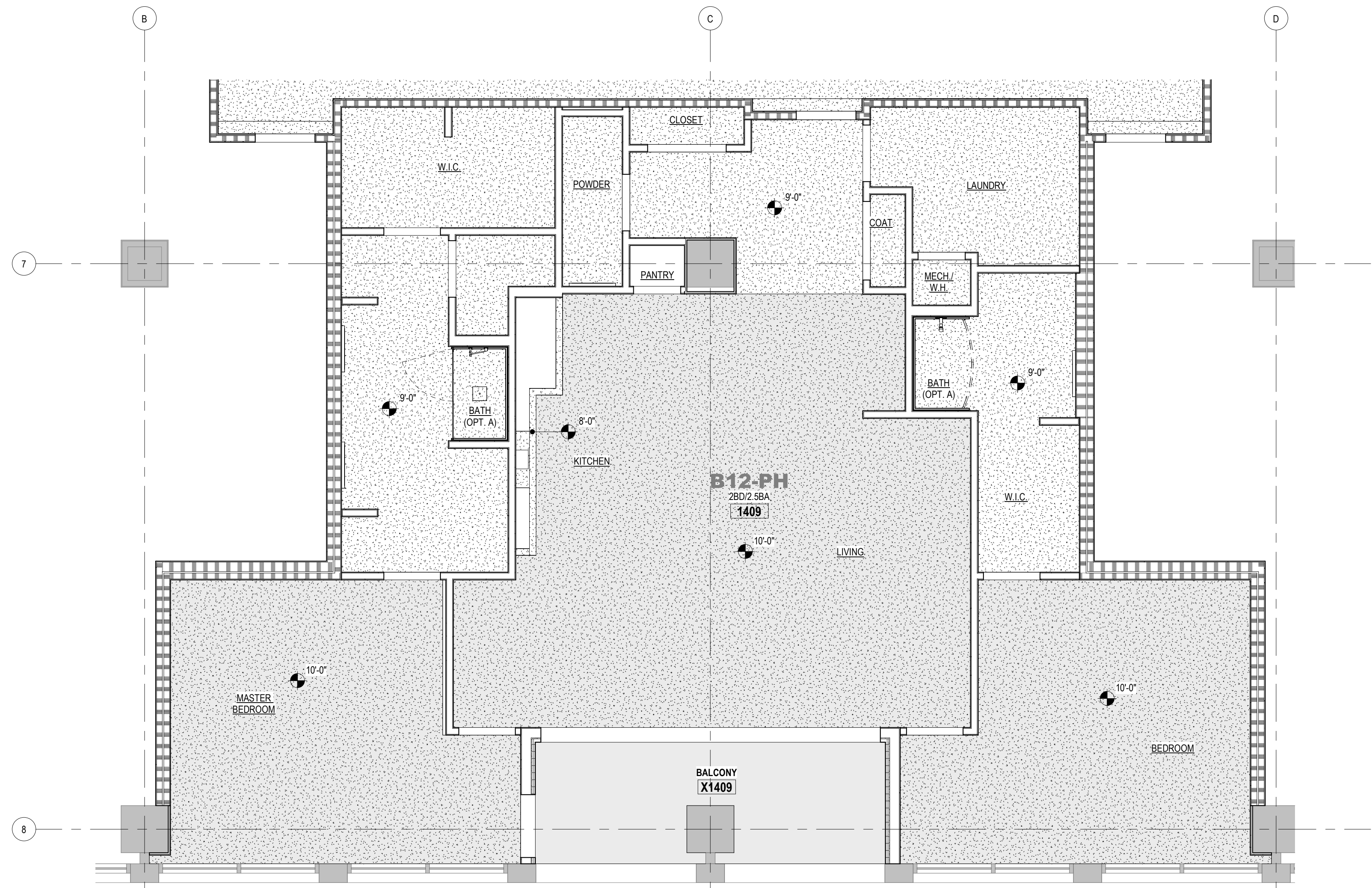
ISSUED	DATE
SD SUBMITTAL	03/06/2026

SHEET TITLE	
UNIT PLANS AND ELEVATIONS - B11-PH	
SHEET SIZE	COMM. No.
30" x 42"	E-12854
DRAWN BY	DATE
DY	03/06/2026
SHEET	

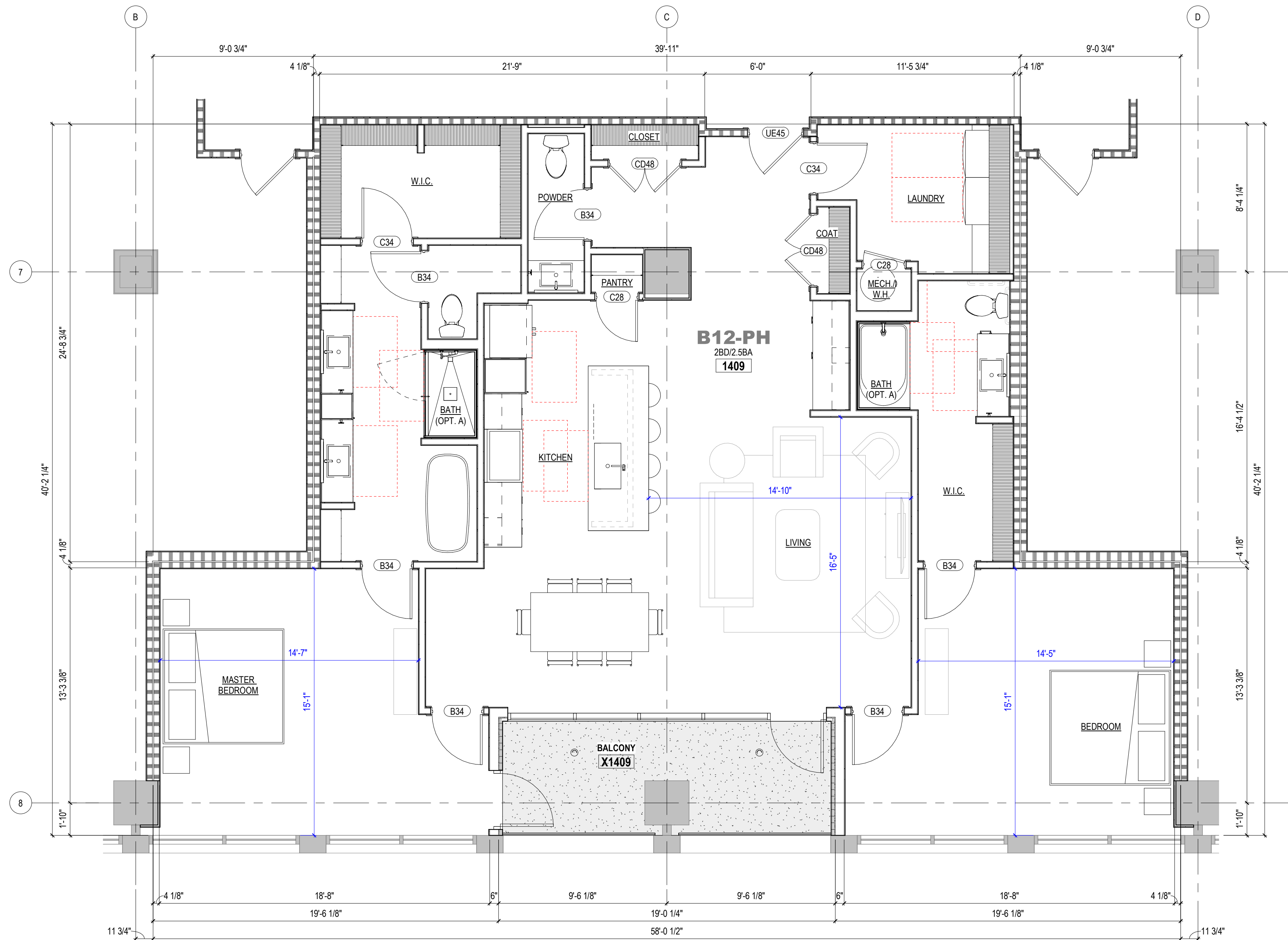
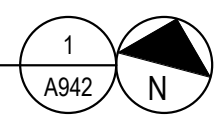
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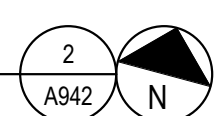
555 CARR ST., CINCINNATI, OH 45202 | P 513.721-1488 | F 513.721-5611



UNIT RCP - B12-PH
SCALE: 1/4" = 1'-0"



UNIT PLAN - B12-PH
SCALE: 1/4" = 1'-0"



GENERAL NOTES

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KEYNOTES

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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

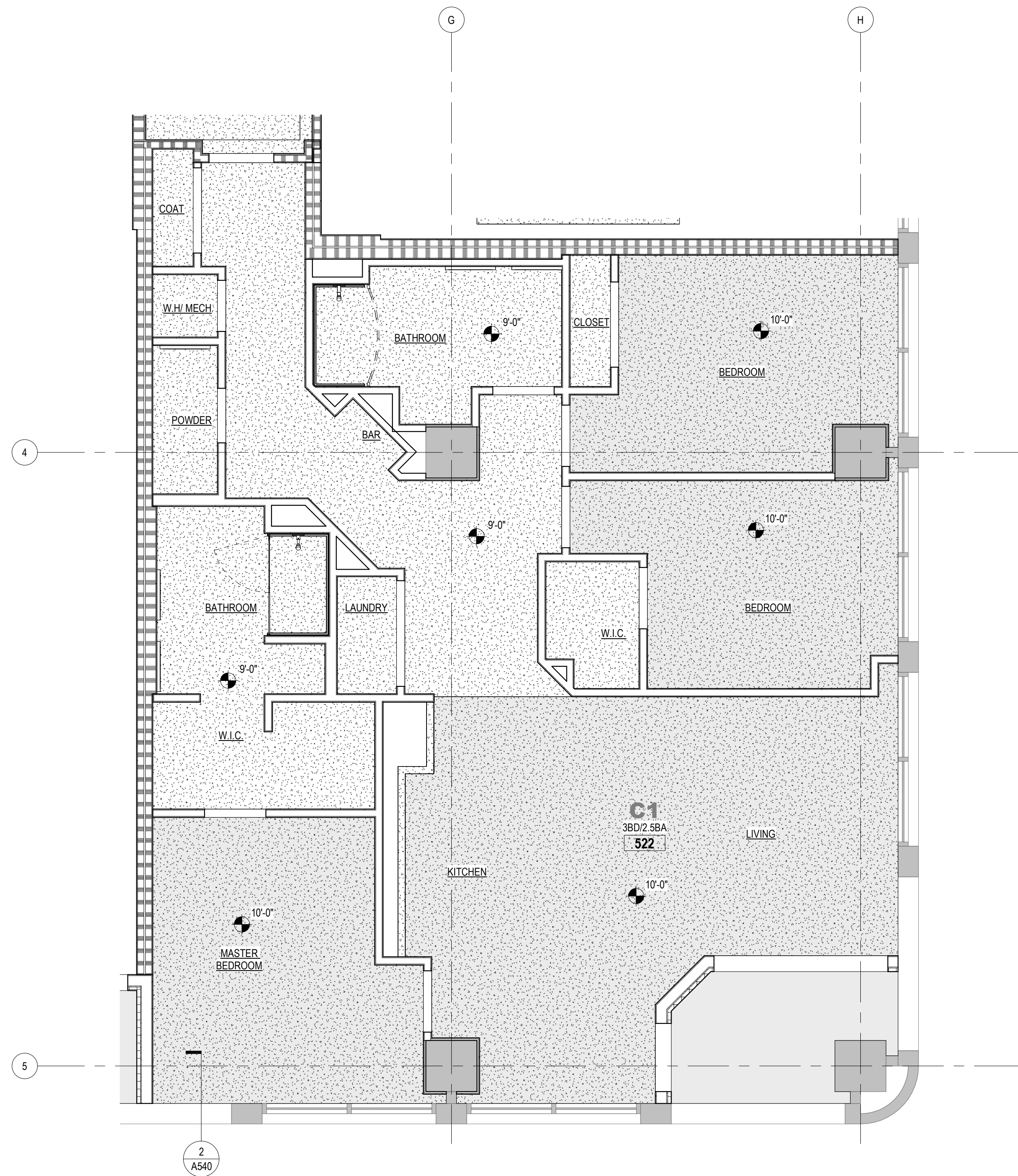
ISSUED	DATE
SD SUBMITTAL	03/06/2025

SHEET TITLE
UNIT PLANS AND ELEVATIONS - B12-PH

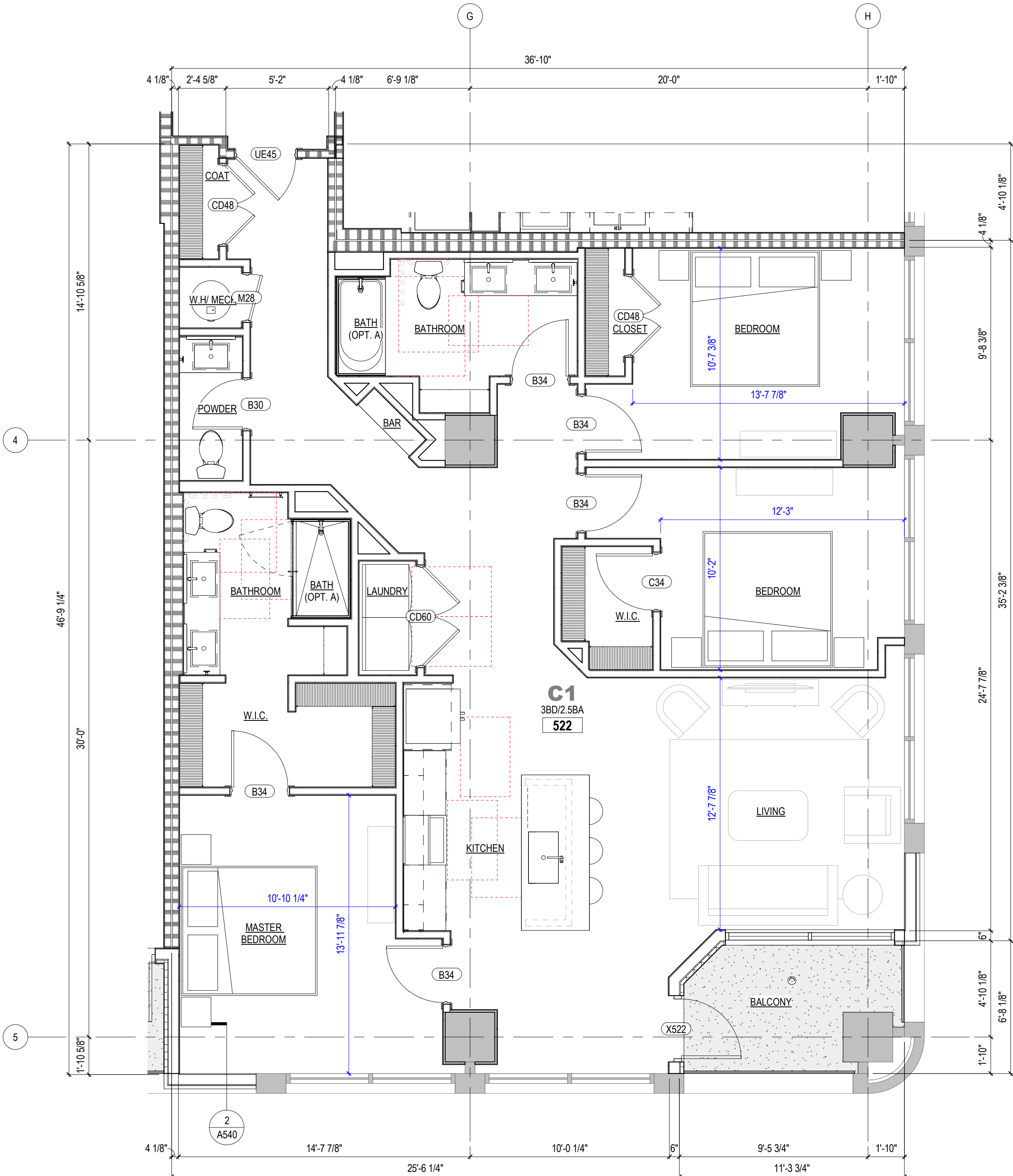
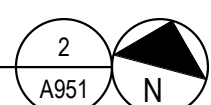
SHEET SIZE 30" x 42"	COMM. NO. E-12854
DRAWN BY DY	DATE 03/06/2025
SHEET #	

A942

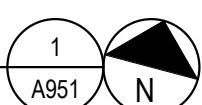




UNIT RCP - C1
SCALE: 1/4" = 1'-0"



UNIT PLAN - C1
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
- CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
- ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
- CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS, MAINTAIN FIRE-RATED ASSEMBLIES.
- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
- REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
- ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
- FURNITURE IS NOT IN CONTRACT.
- REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
- REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
- UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
- DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
- REFER TO SHEET A900 & A901 FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
- DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
- TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
- PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
- PROVIDE BLOCKING SUPPORT AS REQUIRED- INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
- ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
- SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
- DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
- SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
- ALL SHOWERS & BATHTUBS TO BE 36" X 60" U.N.O.
- PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
- PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN), SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

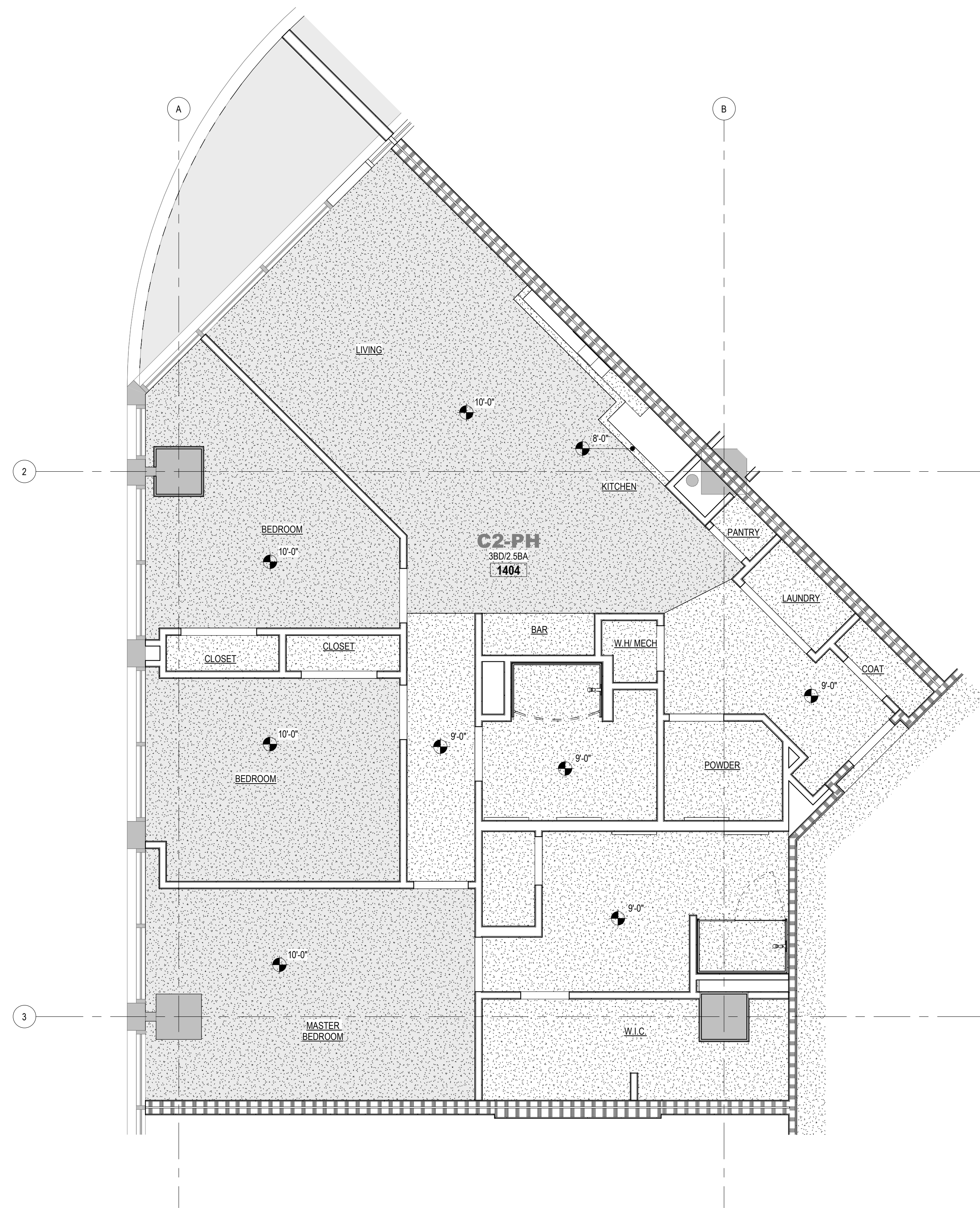
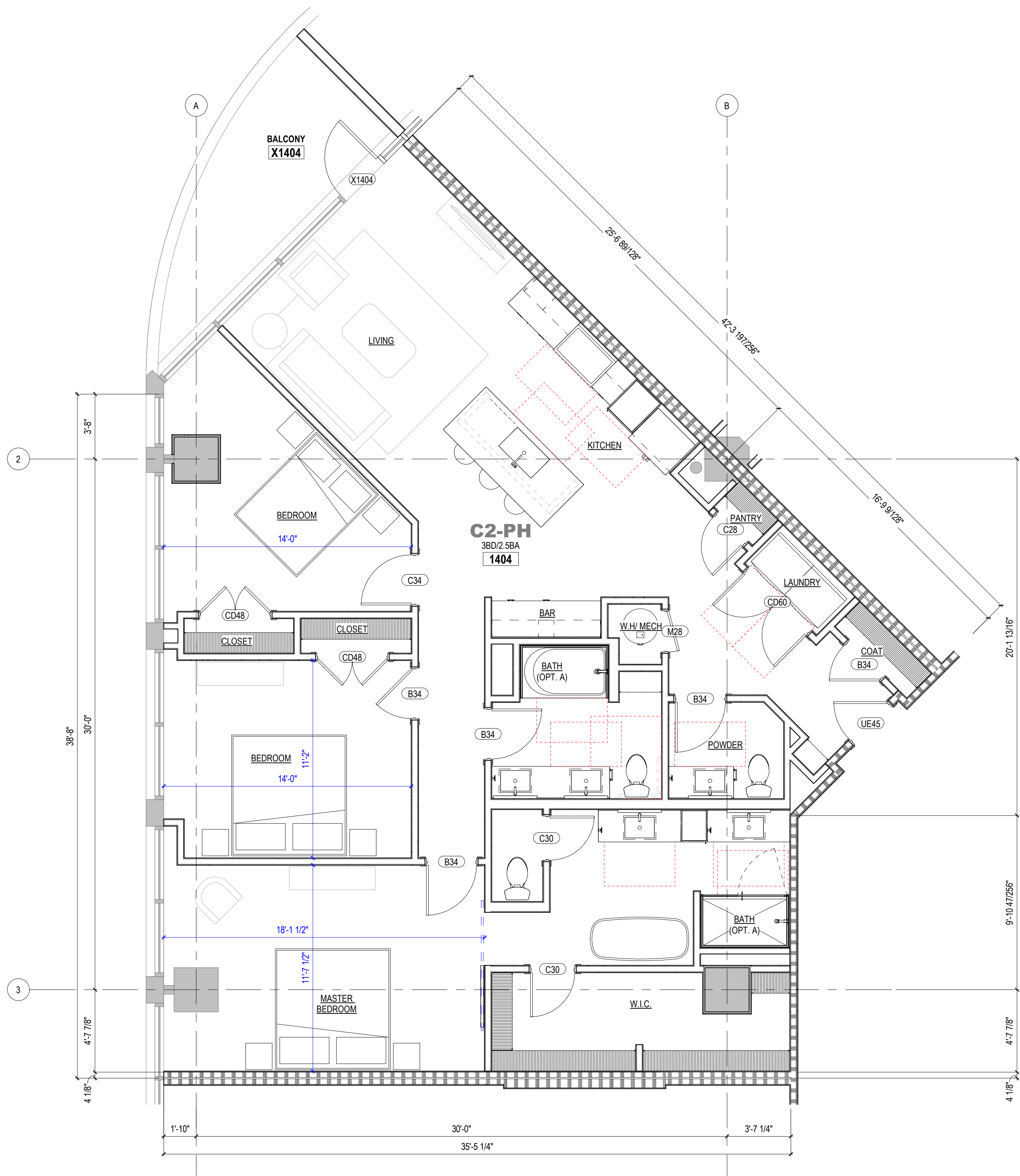
SHEET TITLE

UNIT PLANS AND ELEVATIONS - C1

SHEET SIZE	30" x 42"	COMM. NO.	E-12854
DRAWN BY	DY	DATE	03/06/2023
SHEET			

A951



UNIT RCP - C2-PH
SCALE: 1/4" = 1'-0"UNIT PLAN - C2-PH
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
B. CONTRACTORS SHALL STORE, HANDLE, AND INSTALL ALL PRODUCTS AND ASSEMBLIES PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS, AND PROCEDURES IN ORDER TO MAINTAIN THE MANUFACTURER'S WARRANTY.
C. ALL MATERIALS AND WORK SHALL BE FURNISHED AND INSTALLED IN WORKMANSHIP-LIKE MANNER IN STRICT ACCORDANCE WITH ALL PREVAILING LOCAL, STATE, AND NATIONAL BUILDING CODES.
D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING.
E. CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS FOR ALL MEP OPENINGS; MAINTAIN FIRE-RATED ASSEMBLIES.
F. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LIGHTING AND MECH. FIXTURE LOCATIONS.
G. REFER TO INTERIOR DESIGN FINISH SCHEDULES FOR MATERIALS AND FINISHES.
H. ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH OBC ADAPTABLE UNIT TYPE "1" REQUIREMENTS, UNLESS DESIGNATED ADA ACCESSIBLE UNIT TYPE "A" IN UNITS LOCATIONS SHOWN.
I. FURNITURE IS NOT IN CONTRACT.
J. REFER TO FLOOR PLANS FOR UNIT OVERALL DIMENSIONS.
K. REFER TO FLOOR PLANS & ELEVATIONS FOR EXTERIOR WINDOW AND DOOR TYPES IN ALL UNIT PLANS.
L. UNIT LAYOUT IS AS SHOWN ON THIS SHEET. SEE OVERALL BUILDING PLANS FOR COMMON SPACES AND CORRIDOR DIMENSIONS.
M. DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
N. TYPICAL STUD DIMENSIONS ARE 3 1/2" OR 5 1/2" U.N.O. TYPICAL FURRING DIMENSIONS ARE 3/4" U.N.O.
O. REFER TO SHEET A900 & A701 FOR WALL TYPES. SEE FLOOR PLANS FOR EXTERIOR, CORRIDOR & COMMONS WALL TYPES. ALL UNIT INTERIOR PARTITIONS ARE WALL TYPE W4, U.N.O.
P. DWELLING UNIT SEPARATION WALLS OF APARTMENT UNITS SHALL BE MINIMUM 1-HOUR FIRE-RATED CONSTRUCTION. PRE-INSTALL FULL HEIGHT GWB BEHIND ALL FIBERGLASS TUBS AND SHOWERS ON RATED WALLS PER UL-UL305.
Q. ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
R. TYPE "X" OR TYPE "C" 5/8" THICK GYPSUM BOARD SHALL BE USED AT RATED WALL / CEILING CONSTRUCTION. REFER TO UL ASSEMBLIES.
S. PROVIDE R-13 (3 1/2") MINIMUM ACOUSTIC BATT INSULATION IN ALL DWELLING UNIT SEPARATION WALLS. FILL FLOOR & ROOF CAVITIES FULL WITH ACOUSTIC BATT INSULATION.
T. PROVIDE BLOCKING SUPPORT AS REQUIRED-INCLUDING, BUT NOT LIMITED TO: ALL LOCATIONS FOR GRAB BARS IN ALL UNITS & AT ALL STAIR RAILS. SUPPORT FOR SHEATHING & GYPSUM BOARD EDGES NOT ON FRAMING, KITCHEN WALL CABINETS & BASE CABINETS, AND AT TV WALL LOCATIONS.
U. ALL GYPSUM BOARD EXPOSED TO VIEW SHALL HAVE A SMOOTH FINISH COATING. REFER TO FINISH SCHEDULE FOR PAINT & SHEEN.
V. SEE UNIT DOOR SCHEDULE FOR UNIT DOORS.
W. DOORS IN CLOSETS, LAUNDRIES, AND MECH. ARE CENTERED IN WALL U.N.O. ALL OTHER DOORS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
X. PROVIDE TRANSFER GRILL ABOVE DOOR FOR ALL RESIDENTIAL MECH. ROOMS. COORDINATE WITH MECHANICAL DRAWINGS.
Y. SEE UNIT TOILET ACCESSORIES SCHEDULE FOR UNIT TOILET ACCESSORIES.
Z. ALL SHOWERS & BATHTUB TO BE 36" X 60" U.N.O.
AA. PROVIDE WASHER & DRYER HOOKUPS IN ALL UNITS AS REQUIRED TO MEET OR EXCEED APPLICABLE CODES.
BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

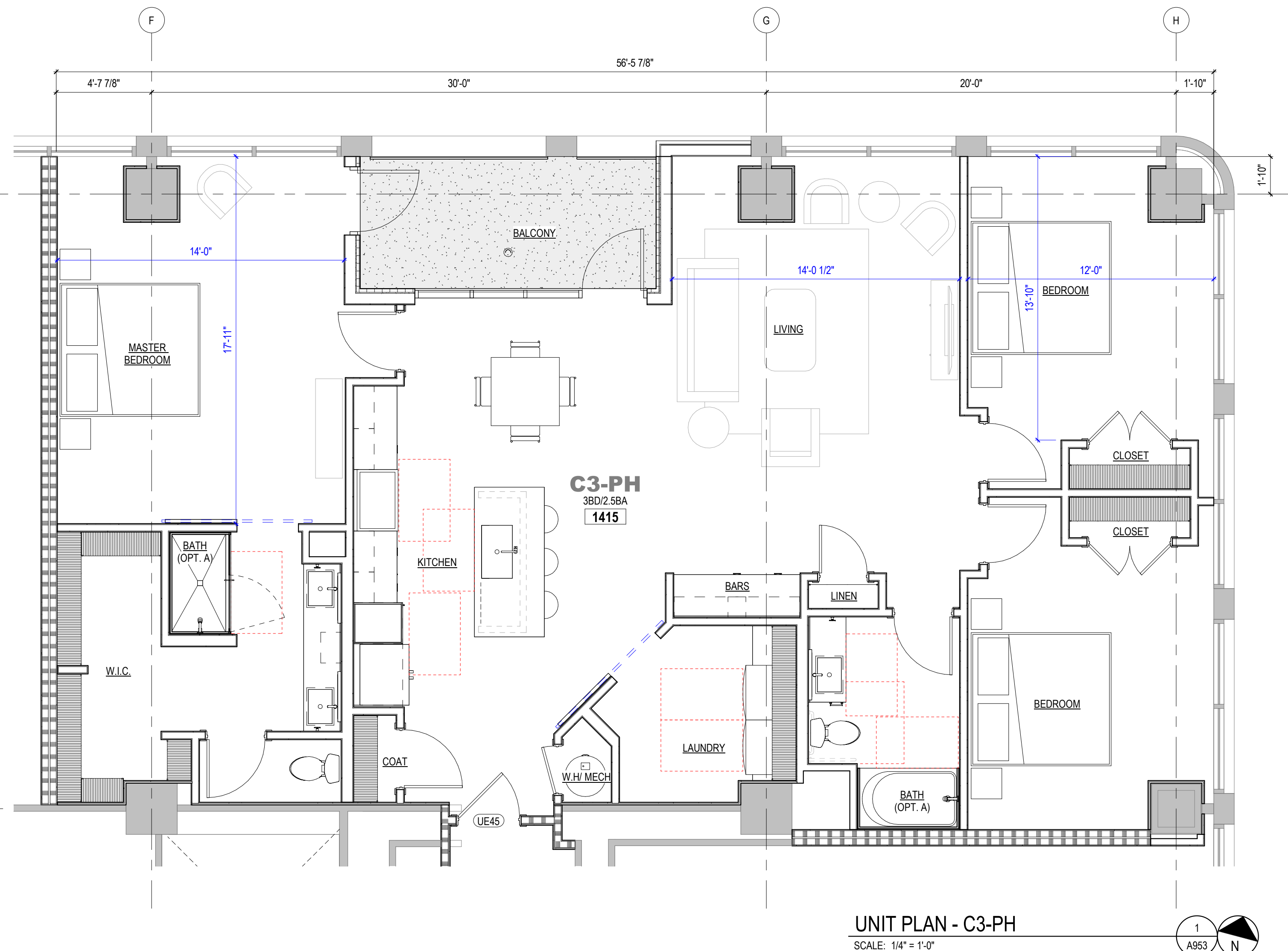
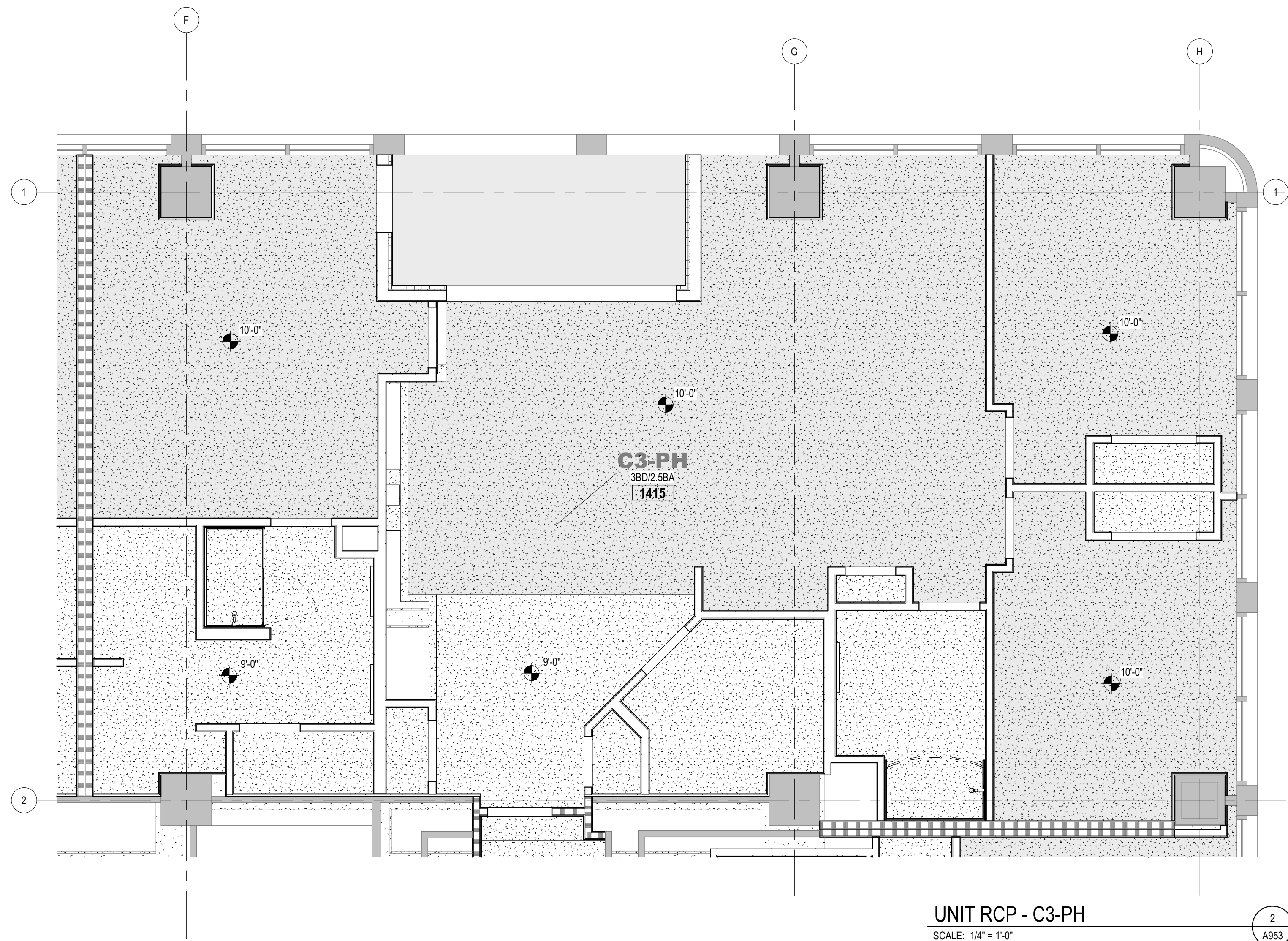
DRAWING NOTES

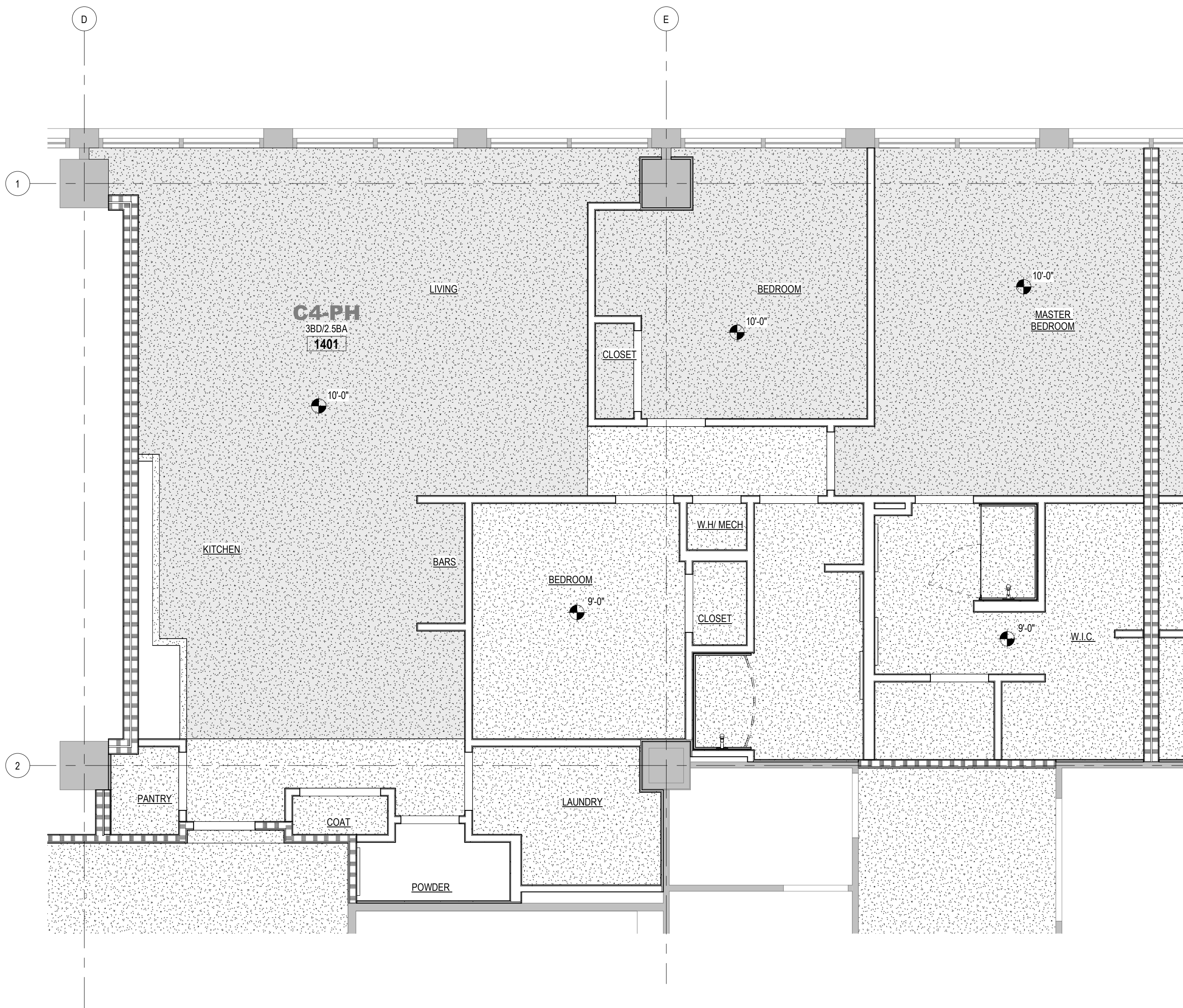
ACCESSORY SCHEDULE

1. ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
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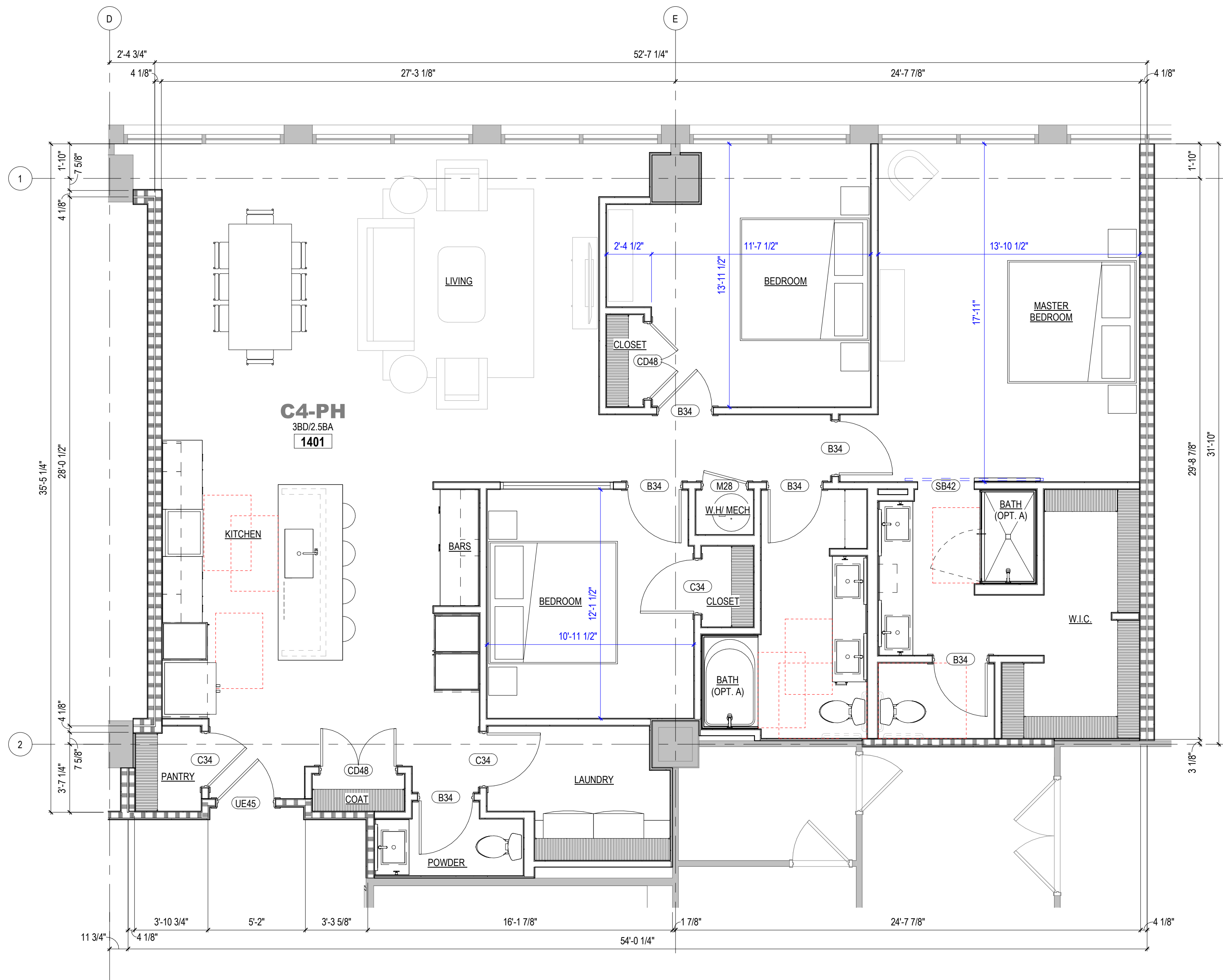
LEGEND

- AIR SUPPLY REGISTER
○ LIGHTING FIXTURE
□ LUXURY VINYL TILE
■ CARPET

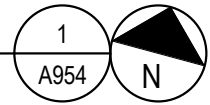




UNIT RCP - C4-PH
SCALE: 1/4" = 1'-0"



UNIT PLAN - C4-PH
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- VERIFY ALL DIMENSIONS & CONDITIONS IN THE FILED PRIOR TO FABRICATION AND/OR INSTALLATION.
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KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

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LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202

ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2025

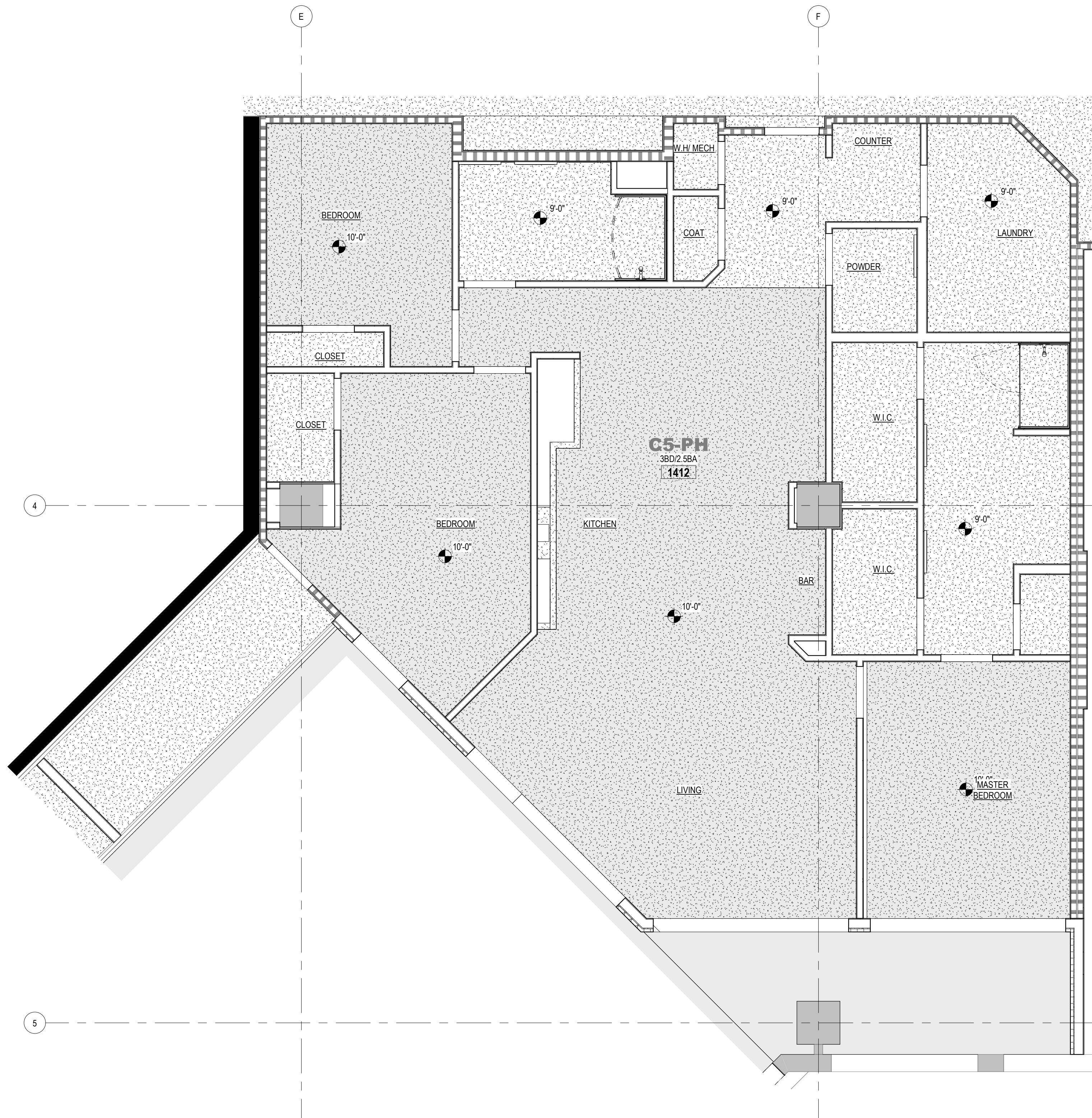
SHEET TITLE
UNIT PLANS AND ELEVATIONS - C4-PH

SHEET SIZE 30" x 42"	COMM. NO. E-12654
DRAWN BY DY	DATE 03/06/2025

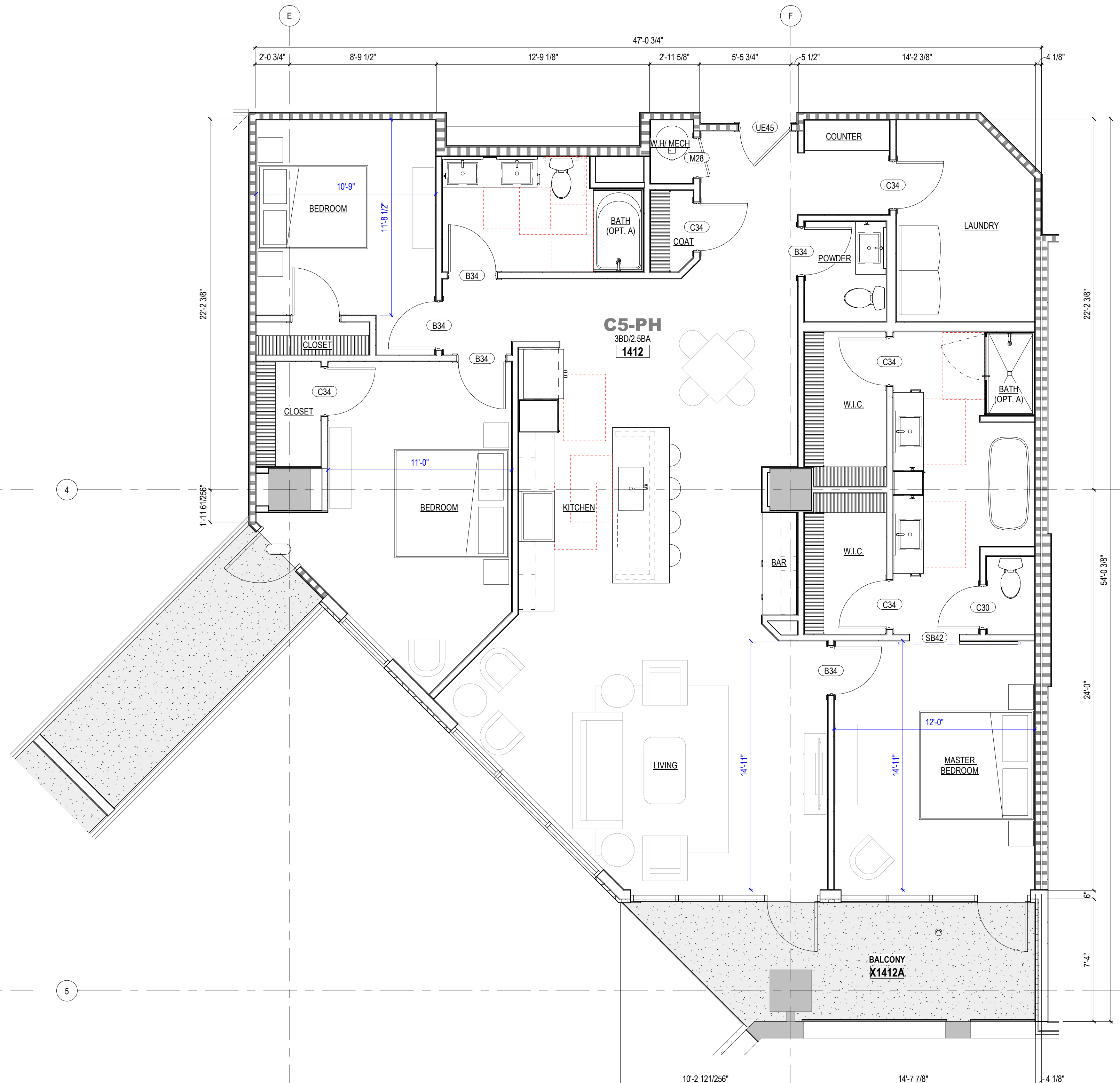
A954

elevator
DESIGN LLC

ACABAY
Premier Office Space



UNIT RCP - C5-PH
SCALE: 1/4" = 1'-0"



UNIT PLAN - C5-PH
SCALE: 1/4" = 1'-0"



GENERAL NOTES

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- ALL STUD WALLS UNDER THE KITCHEN ISLAND COUNTERTOP ARE 2'-10 1/2" HIGH IN TYPE B UNITS AND 2'-8 1/2" HIGH IN TYPE A UNITS.
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- BB. PROVIDE A CURVED SHOWER ROD AT ALL BATH TUBS IN EACH BATHROOM.
- CC. ALL RESIDENTIAL UNITS SHALL PROVIDE WINDOW BLINDS (NOT SHOWN). SEE SPECIFICATION.

KEYNOTES

DRAWING NOTES

ACCESSORY SCHEDULE

- ACCESSORIES TO BE MOUNTED AT MANUFACTURER'S RECOMMENDED STANDARD HEIGHT. HEIGHTS ARE TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS.
- ALL UNIT ACCESSORIES TO BE MOUNTED INTO GYPSUM WALL BOARD WITH ANCHORS SPECIFICALLY DESIGNED TO PROVIDE ADEQUATE ANCHORAGE IN GYPSUM ASSEMBLIES.

LEGEND

- AIR SUPPLY REGISTER
- LIGHTING FIXTURE
- LUXURY VINYL TILE
- CARPET

ATRIUM 1 RESIDENCES - LEVELS 5-14

201 E 4TH ST. CINCINNATI, OH 45202
ACABAY INC.

100-105 WEST VIEW ROAD, COLCHESTER, VT 05446

NOT FOR CONSTRUCTION

ISSUED	DATE
SD SUBMITTAL	03/06/2023

SHEET TITLE

UNIT PLANS AND ELEVATIONS - C5-PH

SHEET SIZE 30" x 42"	COMM. NO. E-12654
DRAWN BY DY	DATE 03/06/2023
SHEET #	

A955

